

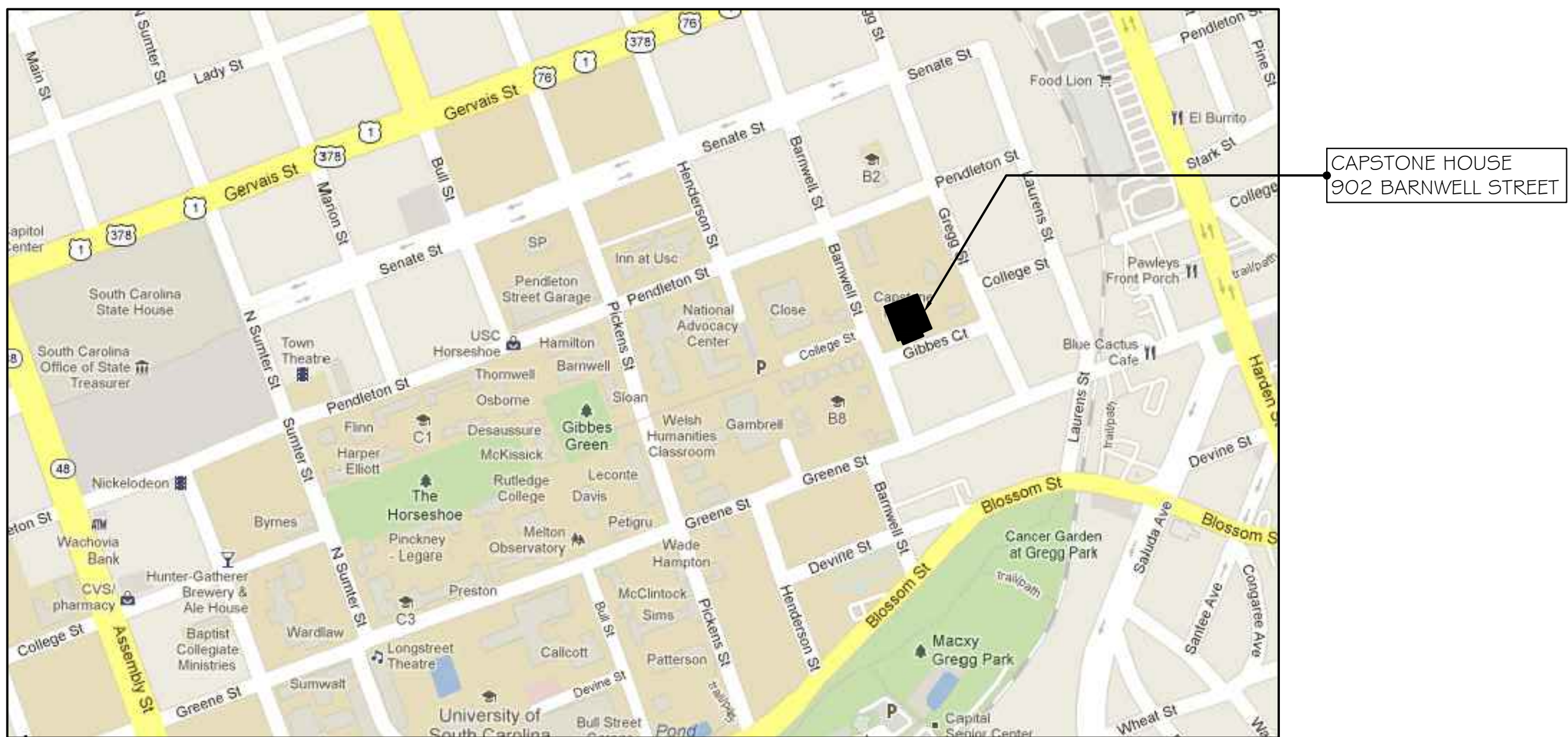
# CAPSTONE HOUSE

## ELEVATOR CONTROLS UPGRADES

### STATE PROJECT NO.: H27-Z396/50003361-2

## UNIVERSITY OF SOUTH CAROLINA

## COLUMBIA, SOUTH CAROLINA



VICINITY MAP

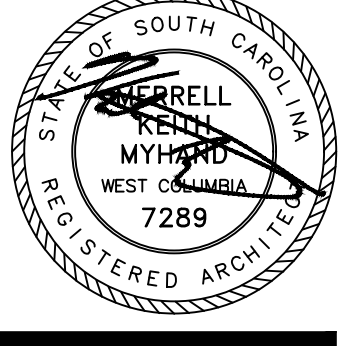
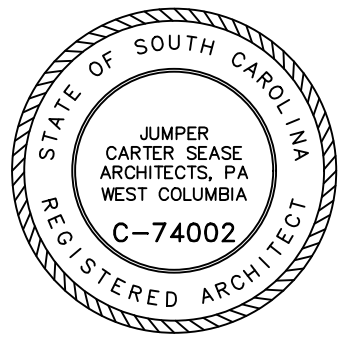
ABBREVIATIONS				PROJECT CONTACTS		INDEX OF DRAWINGS		BUILDING CODE REVIEW DATA	
<div>A.C.T. ALUM. BD BLKG C.J. C.T. CMU CONC. CONT CPT CR DTL. E.J. ELEC. EQ EXIST./EXG EXP FE FEC FF FLR FTG GALV GC GWB HM HORIZ I.D. INSUL</div> <div>ACOUSTICAL CEILING TILE ALUMINUM BOARD BLOCKING CONTROL JOINT CERAMIC TILE CONCRETE MASONRY UNIT CONCRETE CONTINUOUS CARPET CLASSROOM DETAIL EXPANSION JOINT ELECTRICAL EQUAL EXISTING EXPANSION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR FLOOR FOOTING GALVANIZED GENERAL CONTRACTOR GYPSUM WALL BOARD HOLLOW METAL HORIZONTAL INSIDE DIAMETER INSULATION</div> <div>MECH MFR MB M.O. N.I.C. O.C. O.D. OPNG PL PLUMB PR PT REINF REQ'D SCHED SHT. SIM. SS STL SWC TB TEMP TOILET TRT'D TYP. VCT VERT WD</div> <div>MECHANICAL MANUFACTURER MARKER BOARD MASONRY OPENING NOT IN CONTRACT ON CENTER OUTSIDE DIAMETER OPENING PLATE PLUMBING PAIR PRESSURE TREATED REINFORCED REQUIRED SCHEDULE SHEET SIMILAR STAINLESS STEEL STEEL SOLID WOOD CORE TACKBOARD TEMPERED TOILET TREATED TYPICAL VINYL COMPOSITION TILE VERTICAL WOOD</div>				<div>JOB SITE Capstone House 898 Barnwell St., Columbia SC 29208</div> <div>CONTRACTOR'S OFFICE</div> <div>OWNER University of South Carolina Zach Schiff, Assoc. Director of Construction &amp; Renovations Jim Sherry, Construction &amp; Renovations</div> <div>OWNER'S ELEVATOR CONSULTANT Lerch Bates (Tim Murphy)</div> <div>ARCHITECT Jumper Carter Sease Architects, P.A.</div> <div>MECHANICAL Swygert &amp; Associates, Inc.</div> <div>ELECTRICAL / FIRE ALARM Sims Group Engineers, Inc.</div>		<div>T101 TITLE, INDEX &amp; ABBREVIATIONS</div> <div>A101 A102 A103 A104 A105</div> <div>M101</div> <div>E001 E101 E601</div>		<div>APPLICABLE CODES: 2018 IEBC, 2018 IFC, 2018 IMC, 2011 NEC, 2011 ANSI A117.1, ASHRAE A119-2010/CSA B44-10</div> <div>SITE INFORMATION</div> <div>ADDRESS: 898 BARNWELL STREET COLUMBIA, SC 29208</div> <div>BUILDING INFORMATION 2018 IBC</div> <div>YEAR BUILT: 1961</div> <div>OCCUPANCY CLASSIFICATION: R-2 (DORMITORY)</div> <div>NO. OF FLOORS: 18</div> <div>HIGH RISE BUILDING: YES</div> <div>SPRINKLED: YES</div> <div>CONSTRUCTION TYPE: EXISTING - TYPE I-B *(ASSUMED BASED ON AGE AND OBSERVATIONS OF THE BUILDING)</div> <div>FIRE RESISTANCE RATING FOR BUILDING ELEMENTS (TABLE 601)</div> <div>2018 IEBC: EXISTING BUILDING - ALTERATION LEVEL 1</div>	
NOTE: FOR ABBREVIATIONS NOT NOTED ABOVE CONTACT ARCHITECT.				ADD ALTERNATES		SEE PROJECT MANUAL		<div>ELEVATORS AND CONVEYING SYSTEMS (CHAPTER 30): HOISTWAY ENCLOSURES (SECTION 3002) 3002.12 NUMBER OF ELEVATOR CARS IN A HOISTWAY: NO MORE THAN FOUR CARS IN A SINGLE HOISTWAY ENCLOSURE. ONLY THREE CARS EXISTING - EXISTING IS COMPLIANT. 3002.3 EMERGENCY SIGNS: PROVIDE APPROVED STANDARD PICTORIAL SIGN ADJACENT TO EACH CALL STATION ON ALL FLOORS STATING "IN FIRE EMERGENCY, DO NOT USE ELEVATOR. USE EXIT STAIRS." PROVIDED 3002.4 ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER, 24" X 84" IN A HORIZONTAL POSITION. BOTH SIDES OF DOOR FRAME ARE TO RECEIVE THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE) N/A. WILL NOT FIT WITHIN EXISTING SHAFT. (THIS IS AN "ALTERATION LEVEL 1" PER 2018 IEBC) EMERGENCY OPERATIONS (SECTION 3003) 3003.1 STANDBY POWER IS REQUIRED TO OPERATE THE ELEVATORS IN CASE OF POWER FAILURE. PROVIDED. 3003.14 VENTING: THE MACHINE ROOM VENTILATION OR AIR CONDITIONING IS TO BE CONNECTED TO THE STANDBY POWER SOURCE. PROVIDED 3003.2 FIREFIGHTER'S EMERGENCY OPERATION: PROVIDE EMERGENCY RECALL OPERATIONS PER ASME A17.1. PROVIDED MACHINE ROOMS (SECTION 3005) 3005.1 ACCESS: AN APPROVED MEANS OF ACCESS SHALL BE PROVIDED TO ELEVATOR MACHINE ROOM AND OVERHEAD MACHINE SPACES. PROVIDED. 3005.2 VENTING: MACHINE ROOM SHALL BE VENTED OR AIR-CONDITIONED. PROVIDED 3005.3 SHUNT-TRIP: REQUIRED WHERE HOISTWAYS OR MACHINE ROOMS CONTAINING ELEVATOR CONTROL EQUIPMENT ARE SPRINKLED. PROVIDED.</div>	
				REVISIONS:		DRAWN BY: SL		CHECKED BY: KM	
				COMM NO: 20102		DATE: JANUARY 22, 2021		SHEET TITLE: TITLE INDEX AND ABBREVIATIONS	
				SHEET NO: T101					

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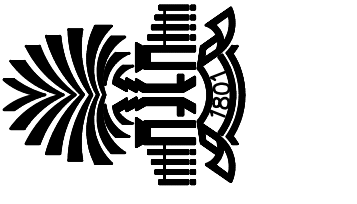
Carter

Sease

Architects  
PA  
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West Columbia  
South Carolina

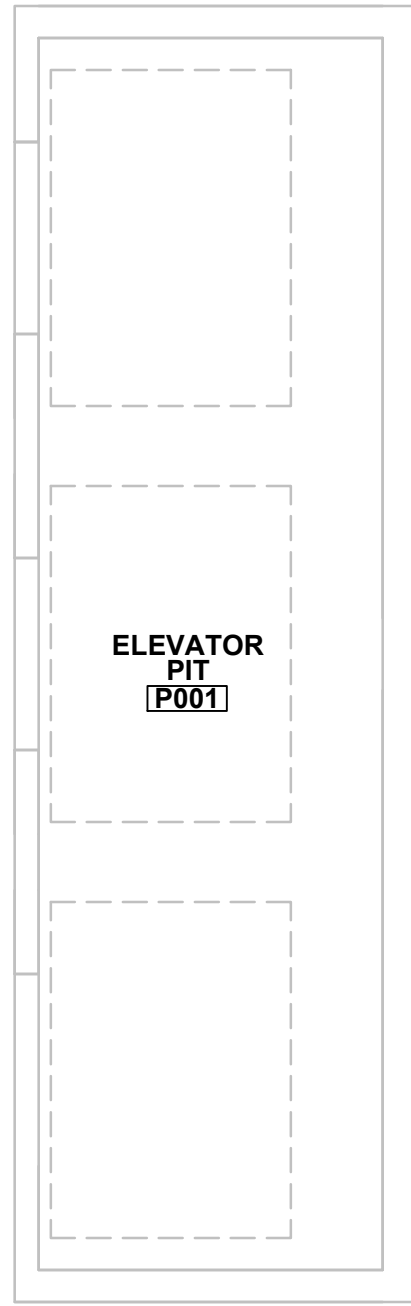


CAPSTONE HOUSE ELEVATOR CONTROLS UPGRADE  
UNIVERSITY OF SOUTH CAROLINA  
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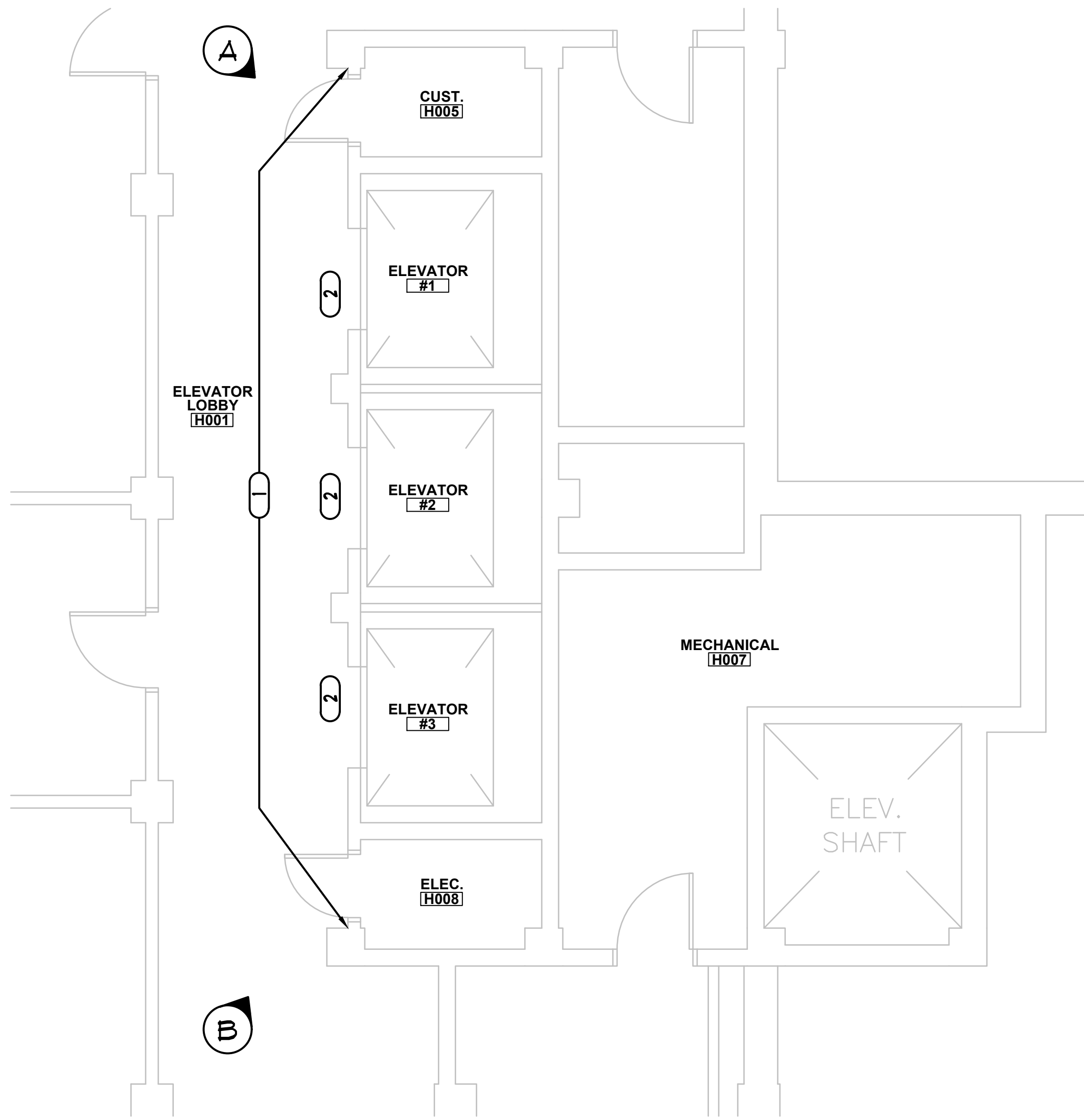




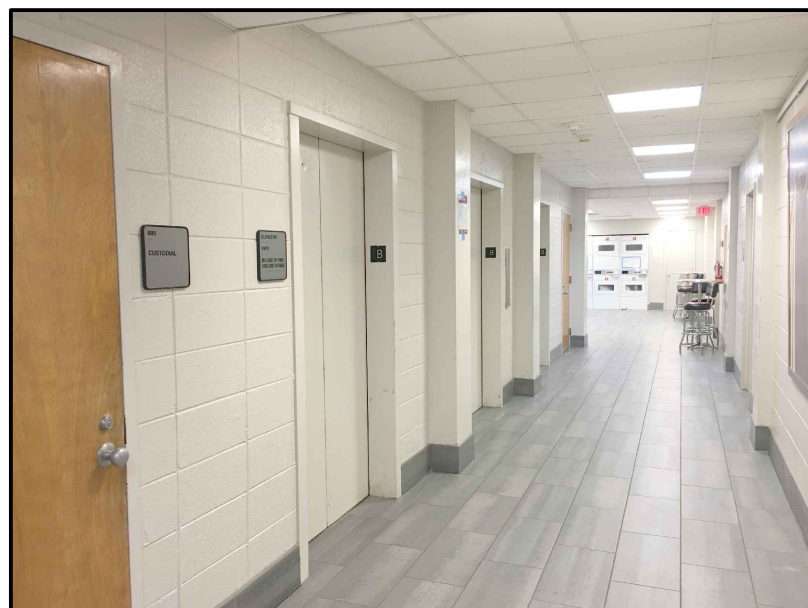
**PIT AND HOISTWAY ENCLOSURE NOTES:**

1. REFER TO MECHANICAL AND ELECTRICAL DOCUMENTS ALONG WITH ELEVATOR SPECIFICATIONS FOR SCOPE INFORMATION AT PIT.

**1 ELEVATOR PIT PLAN**  
SCALE 1/4" = 1'-0"



**2 BASEMENT LEVEL PLAN**  
SCALE 1/4" = 1'-0"



**A VIEW OF SHAFT WALL**



**B VIEW OF SHAFT WALL**

**GENERAL NOTES:**

8. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER & PROVIDE ALL SAFETY SIGNAGE AS REQUIRED DURING THIS PROJECT AS THE BUILDING WILL BE OCCUPIED DURING THIS WORK. ONE ELEVATOR AT A TIME WILL BE MODERNIZED.
9. CONTRACTOR IS TO PROTECT CABES, ENTRANCES AND SPECIAL METAL FINISHES FROM DAMAGE AFTER INSTALLATION.
10. ANY PENETRATION THRU FIRE RATED CONSTRUCTION MUST BE SEALED IN ACCORDANCE WITH THE PROPER U.L. ASSEMBLY DETAIL.
11. ABANDONED CONDUIT, EQUIPMENT, ETC., NO LONGER IN USE IS TO BE REMOVED FROM MACHINE ROOM PRIOR TO PAINTING OF FINISHED ROOM.

**KEY NOTES:**

1. REPAINT THIS WALL TO MATCH EXISTING AFTER COMPLETION OF RELATED ELEVATOR WORK. ALL WALL REPAIRS AND PATCHING DUE TO INSTALLATION OF ELEVATOR FIXTURES MUST BE COMPLETED SO THAT THE WALL IS IN A "LIKE NEW" CONDITION AND NO REPAIR OR PATCH WORK IS EVIDENT. DO NOT PAINT FLOOR LEVEL IDENTIFICATIONS OR ANY OTHER SIGNAGE. 18TH FLOOR IS MARBLE. DO NOT DAMAGE.
2. EXISTING METAL ENTRANCE FRAMES - SAND ALL SURFACES SMOOTH AND REPAIR ANY DENTS TO FLUSH AND SMOOTH CONDITION. REPAINT (SPRAY PAINT) THESE COMPONENTS (COLOR TO MATCH EXISTING AS PROVIDED BY OWNER (P-5)). DO NOT PAINT FLOOR LEVEL IDENTIFICATIONS OR ANY OTHER SIGNAGE.

NEW FACTORY PRE-FINISHED LANDING. DOORS ARE TO BE PROVIDED AS SPECIFIED. (COLOR ALSO TO MATCH EXISTING AS PROVIDED BY OWNER). THIS IS TYPICAL FOR ALL OPENINGS ON ALL FLOORS.

**SYMBOL LEGEND:**

- ROOM # FOR CONSTRUCTION USE ONLY  
PHOTO REFERENCE # (THIS SHEET)

**GENERAL NOTES:**

1. THIS PROJECT CONSISTS OF MODERNIZING THE CONTROLS OF THE THREE EXISTING ORIGINAL GEARED TRACTION PASSENGER ELEVATORS. ELEVATOR COMPONENTS ALONG WITH OTHER RELATED IMPROVEMENTS AS INDICATED WITHIN THE CONTRACT DOCUMENTS.

IT IS IMPORTANT TO NOTE THAT THE LAYOUTS FOR THE PIT, HOISTWAY, ROOF LEVELS AND MACHINE ROOM ARE DIAGRAMMATIC ONLY AND IN NO WAY REPRESENT ACCURATE EXISTING CONDITIONS. ALL AREAS AND CONDITIONS OF THIS WORK ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.

PRIOR TO START OF ANY WORK THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE ANY PRESENCE OF HAZARDOUS MATERIALS ALONG WITH THE PROPER PROCEDURES FOR ABATEMENT & DISPOSAL. WHILE ABATEMENT & TESTING WILL BE BY THE OWNER, DISPOSAL OF ITEMS SUCH AS THE ELEVATOR DOORS BEING REPLACED MAY BE BY THE CONTRACTOR. CONTRACTOR IS TO COORDINATE THIS TASK WELL IN ADVANCE OF START OF THE PROJECT SO TO INCLUDE IN THE CONSTRUCTION SCHEDULE.

REFER TO SPECIFICATION SECTION 01300 "RELATED WORK" FOR ADDITIONAL INFORMATION & SCOPE REQUIREMENTS ASSOCIATED WITH THIS PROJECT. REFER ALSO TO MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

2. THE ONSITE WORK FOR THIS PROJECT IS TO BE PERFORMED SO THAT ALL WORK IS TO BE TOTALLY COMPLETE WITHOUT ANY EXCEPTIONS. ALL SUBMITTALS AND PRODUCT LEAD TIMES ARE TO BE SCHEDULED AND COMPLETED IN AS MUCH ADVANCE AS POSSIBLE BEFORE THE START OF WORK AND AFTER THE AWARD OF THE CONTRACT TO ENSURE THAT ALL WORK IS 100% COMPLETE BY THE SCHEDULED COMPLETION DATE. WORK WILL BE COMPLETED ONE CAR AT A TIME. COORDINATE SEQUENCE WITH OWNER.

3. BUILDING ACCESS - CONTRACTOR ACCESS TO THE BUILDING AND SITE WILL BE 1 DAYS A WEEK FROM 8:00 AM - 5:00 PM (NO REAL NOISE TILL 9:00 AM). ALL CONSTRUCTION PERSONNEL WILL BE REQUIRED TO OBTAIN CARD ACCESS FROM THE OWNER. THIS IS TO BE COORDINATED AND ARRANGED IN A TIMELY MANNER BEFORE CONSTRUCTION STARTS.

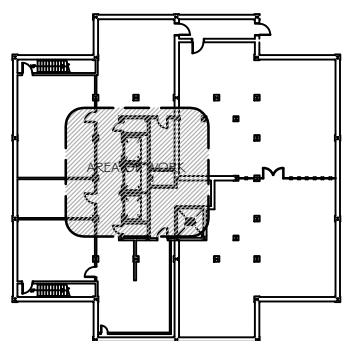
4. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS ASSOCIATED WITH THIS WORK. CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING DUST CURTAINS AND CLEAN-UP AT AREAS REQUIRING CUTTING OR DRILLING OF EXISTING MASONRY OR CONCRETE. ANY AIR GRILLES WITHIN THESE AREAS MUST ALSO BE COVERED TO PREVENT DUST FROM ENTERING HVAC SYSTEM(S). ALL WORK AREAS ARE TO BE THOROUGHLY CLEANED BY THE CONTRACTOR PRIOR TO COMPLETION OF WORK. DAILY CLEAN-UP IS ALSO REQUIRED.

5. ANY ITEMS/MATERIALS INDICATED TO BE REUSED AND/OR RELOCATED SHALL BE STORED IN A SAFE AND DRY ENVIRONMENT UNTIL REINSTALLATION. CONTRACTOR SHALL THOROUGHLY CLEAN ITEMS/MATERIALS TO BE RELOCATED.

6. CONTRACTOR IS TO TAKE CAUTION NOT TO DAMAGE ANY EXISTING PROPERTY OR CONSTRUCTION. ANY SUCH DAMAGE WILL BE REPAIRED OR REPLACED AT THE OWNER'S DISCRETION WITHOUT ANY ADDITIONAL COST TO THE OWNER.

7. CONTRACTOR IS TO PROTECT OPEN ENTRANCES DURING LANDING DOOR PANEL REMOVING AND PAINTING ACTIVITIES. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE RE-INSTALLATION OF THESE BARRICADES, HANDRAILS AND KICK BOARDS, WHICH MAY BE TEMPORARILY REMOVED IN THE PERFORMANCE OF ELEVATOR WORK ACTIVITIES.

ONE FLOOR WILL BE DESIGNATED AS THE STAGING FLOOR (POSSIBLY FLOOR 11 TO BE CONFIRMED WITH OWNER AT PRE-CONSTRUCTION CONFERENCE). ALL STAGING MUST BE SAFELY SECURED BEHIND A TEMPORARY PROTECTIVE WALL AT ALL TIMES. THIS TEMPORARY PROTECTIVE WALL IS TO BE PROVIDED BY THE CONTRACTOR. ALL ITEMS ARE TO BE PUT AWAY EACH NIGHT ON A DAILY BASIS. NO EXCEPTIONS.



**BASEMENT KEY PLAN**  
NOT TO SCALE

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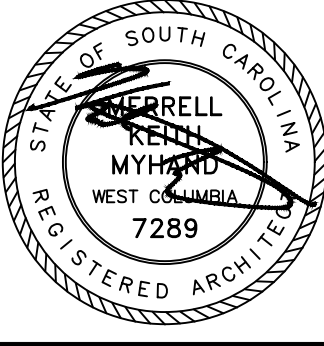
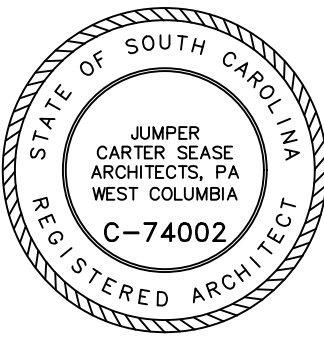
Carter

Sease

Architects

PA

412 Meeting Street  
West Columbia  
South Carolina



CAPSTONE HOUSE ELEVATOR CONTROLS UPGRADE  
UNIVERSITY OF SOUTH CAROLINA  
COLUMBIA, SOUTH CAROLINA



**REVISIONS:**

DRAWN BY: SL

CHECKED BY: KM

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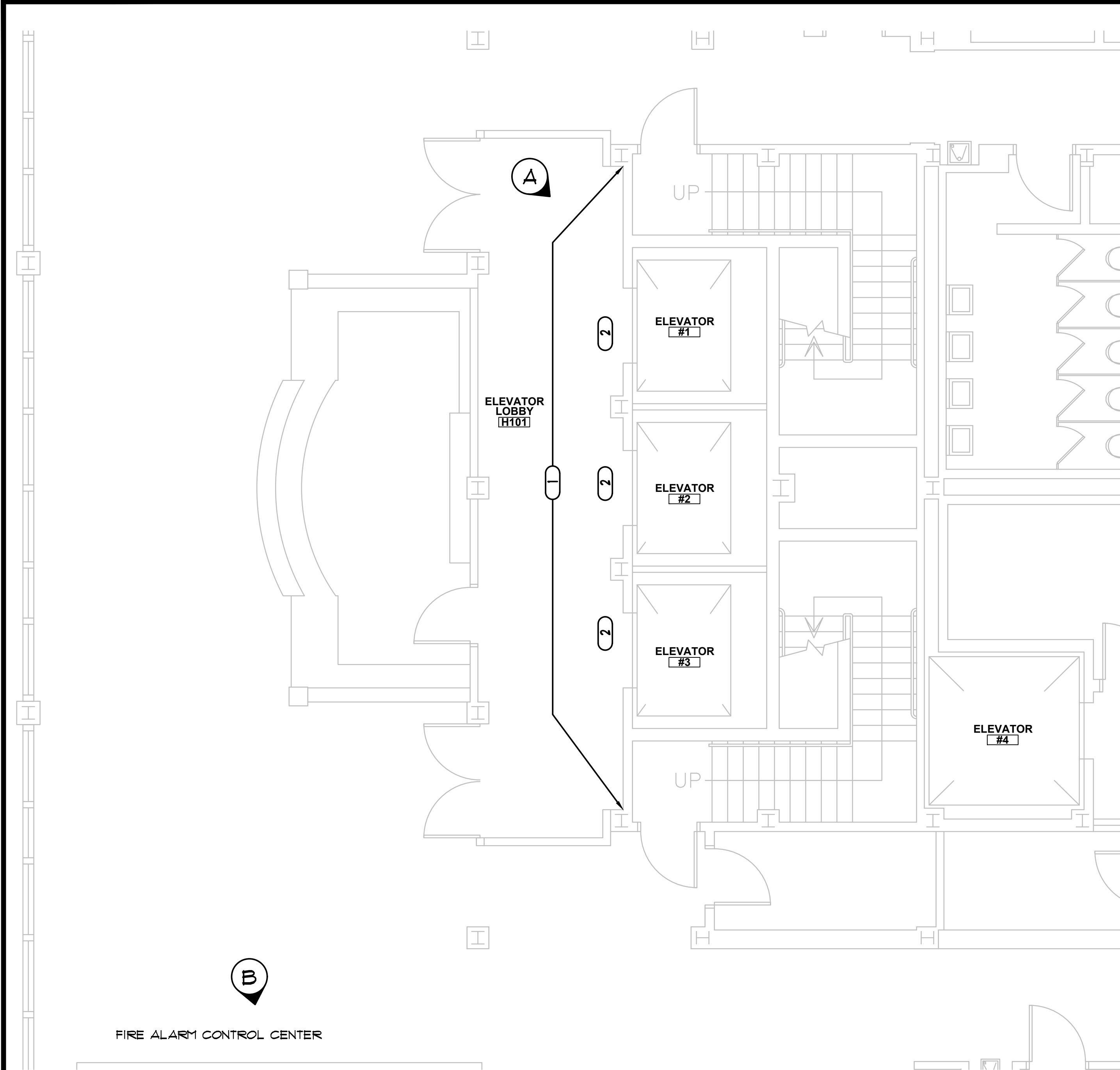
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ELEVATOR PIT &  
BASEMENT LEVEL  
PLANS

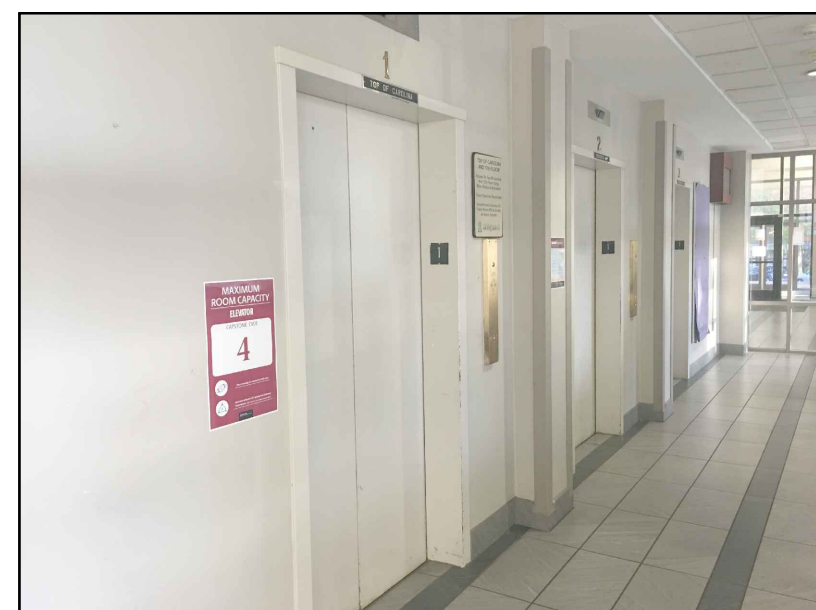
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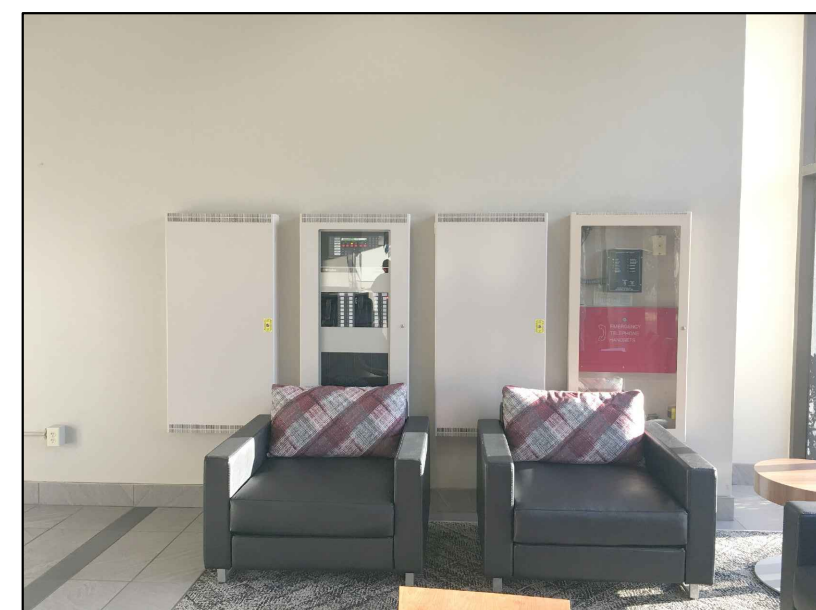




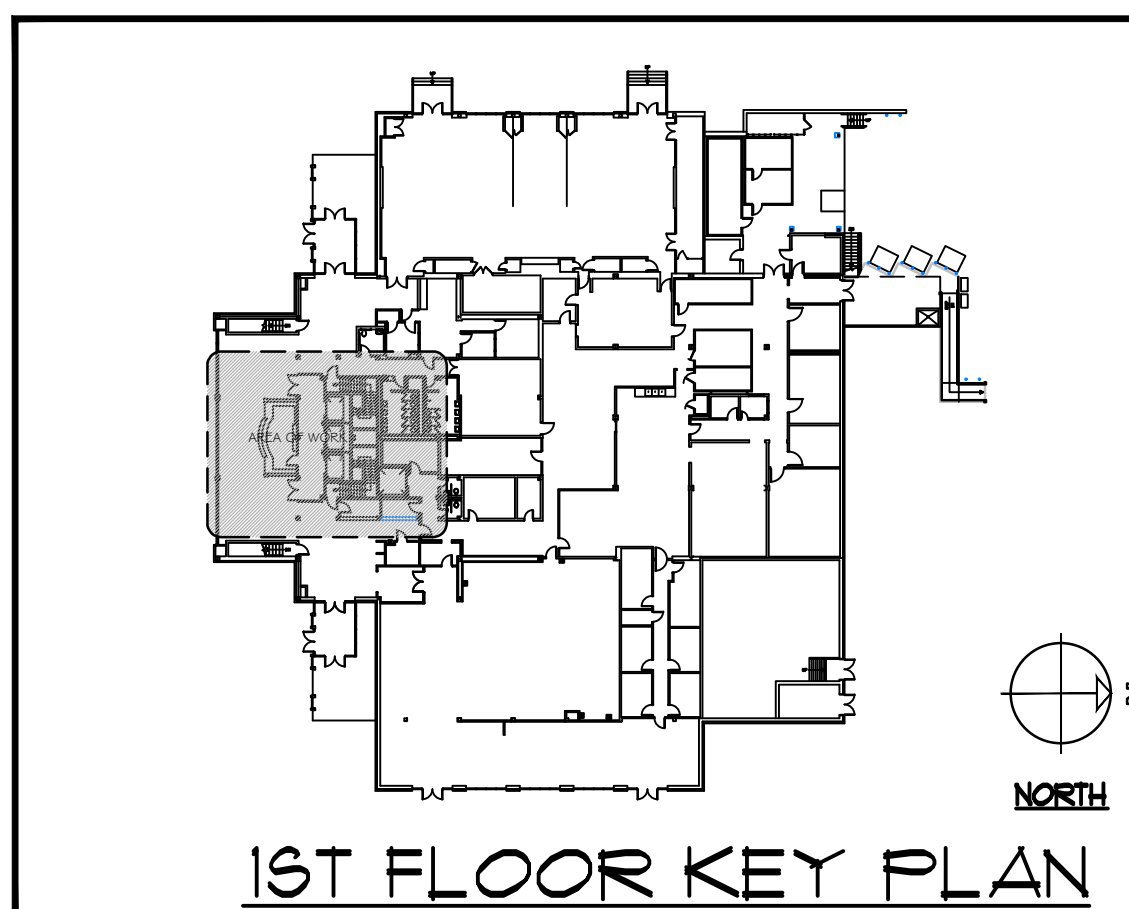
1 1ST FLOOR PLAN  
1/4" = 1'-0"



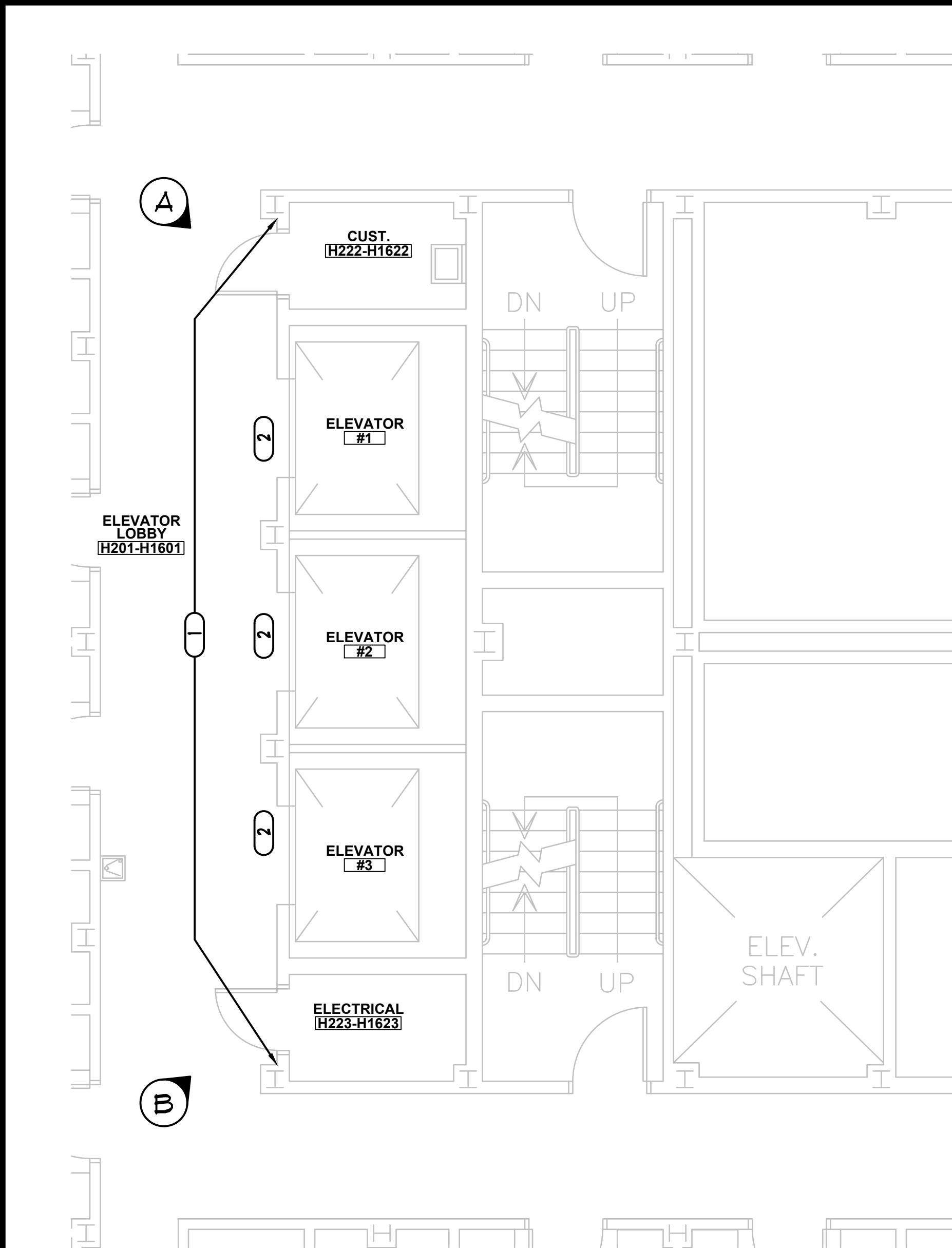
A VIEW OF SHAFT WALL



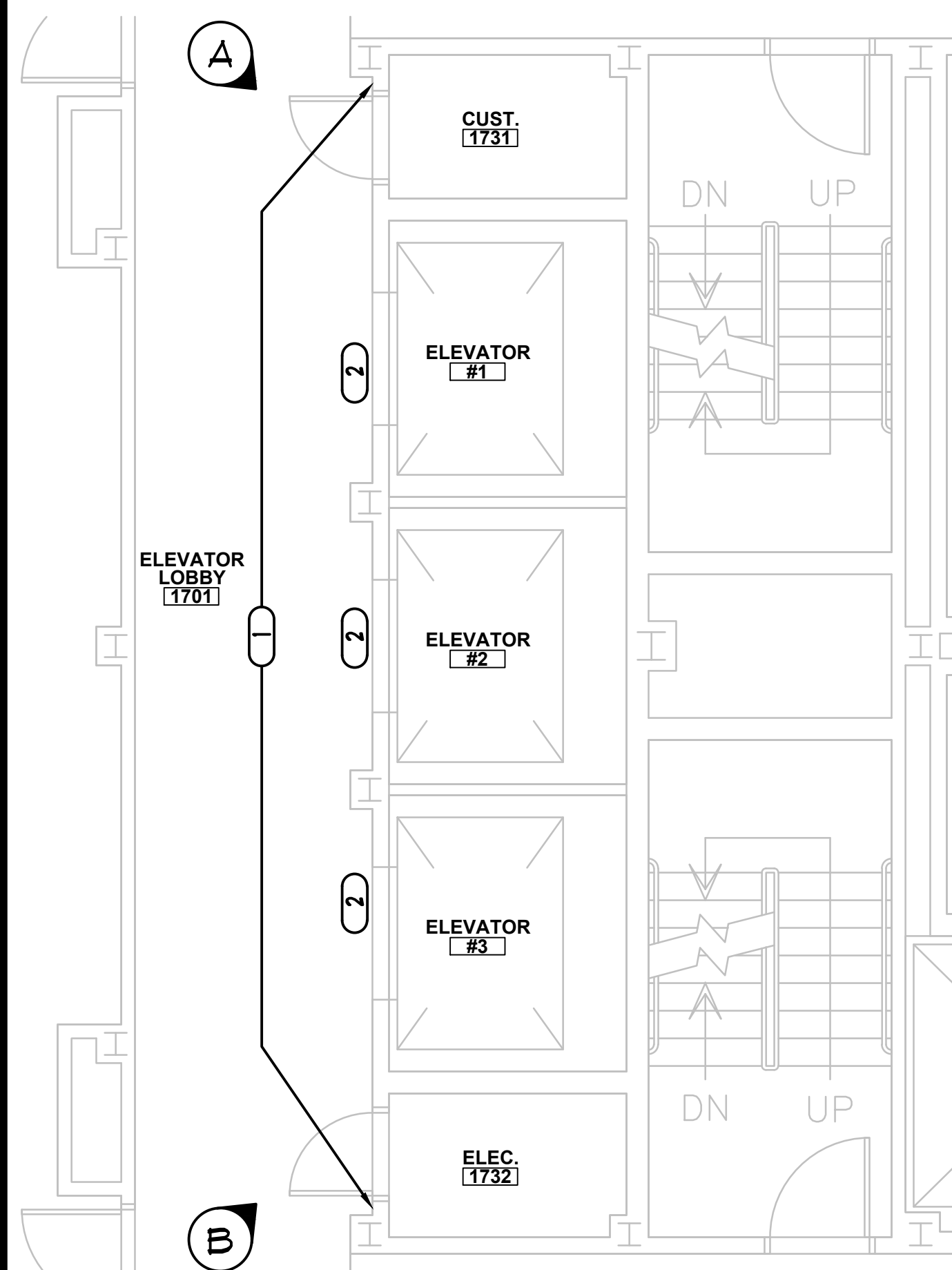
B EXISTING FIRE ALARM CONTROL CENTER



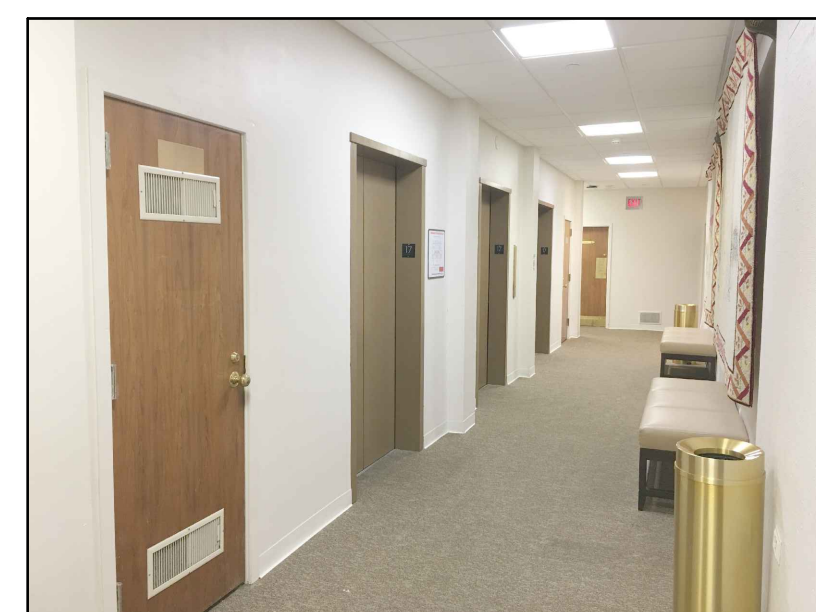
1ST FLOOR KEY PLAN



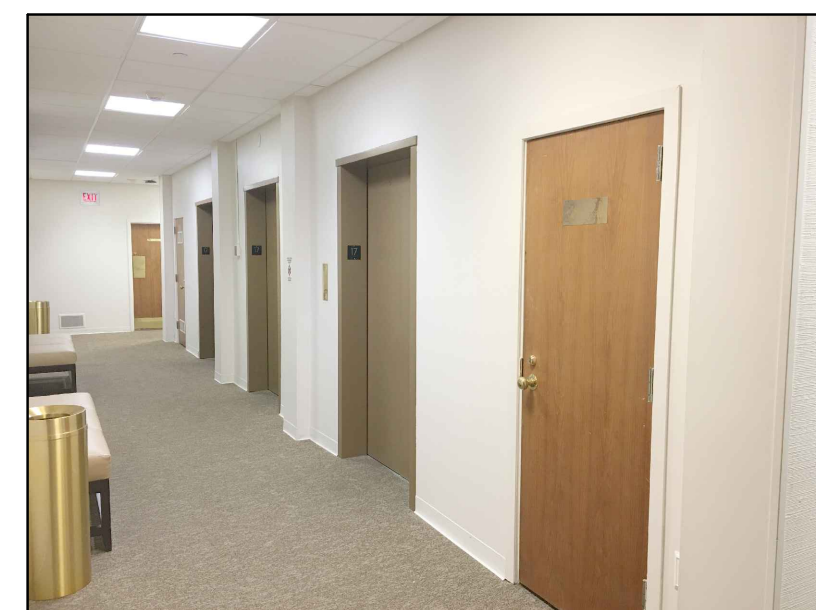
2 2ND FLOOR PLAN  
1/4" = 1'-0"



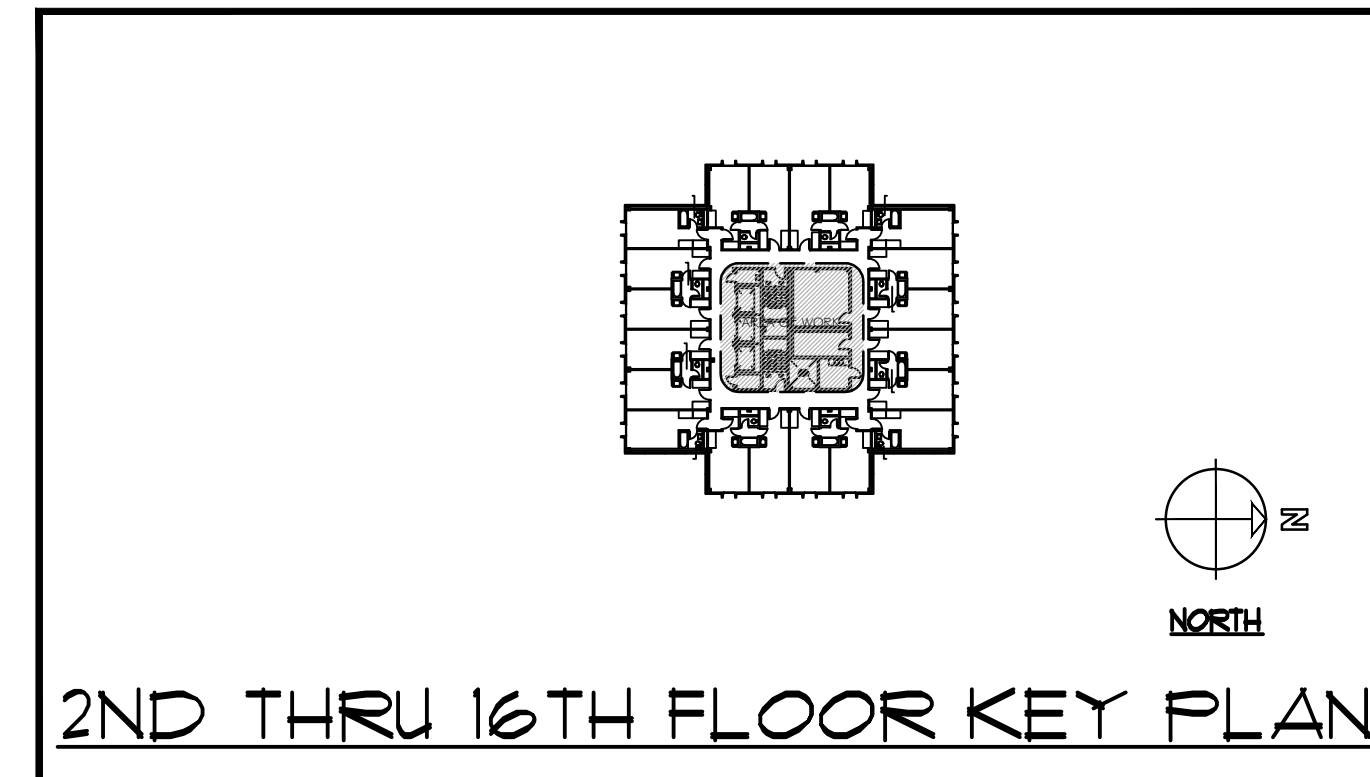
3 17TH FLOOR PLAN  
1/4" = 1'-0"



A VIEW OF SHAFT WALL



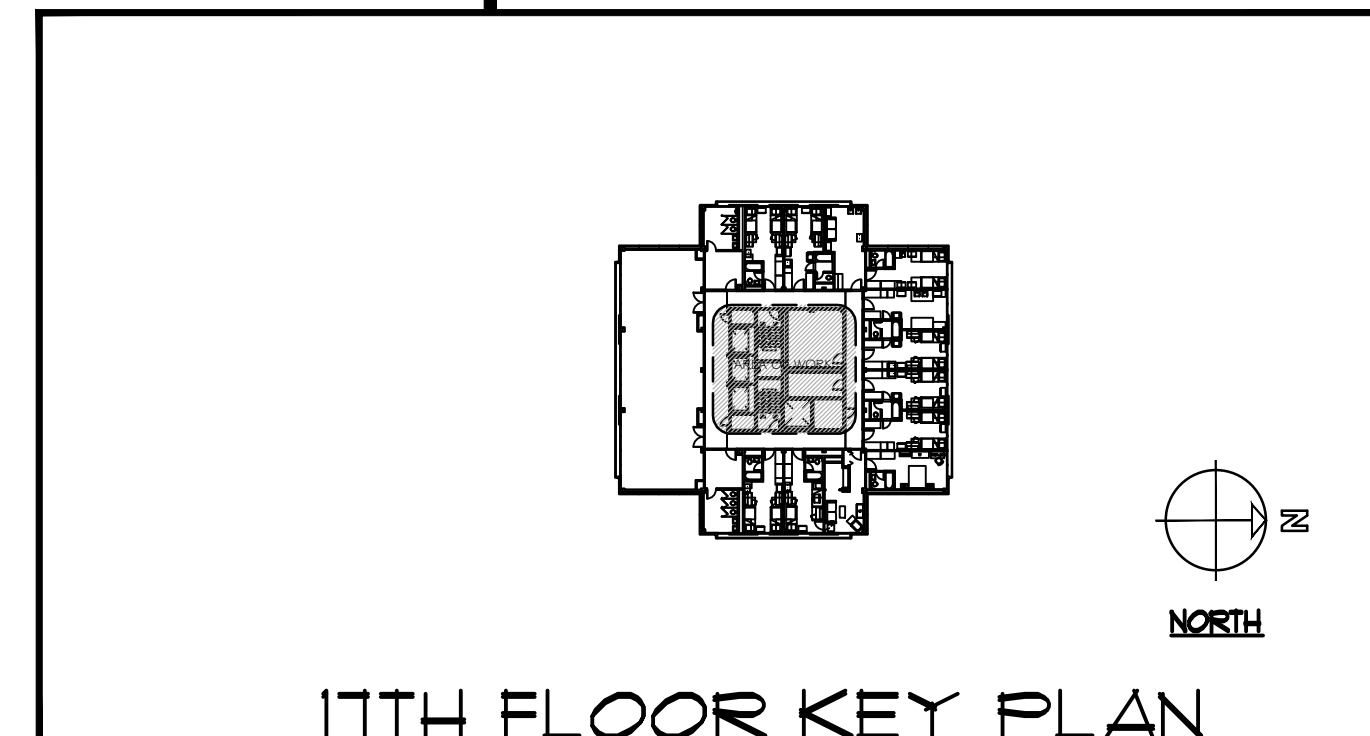
A VIEW OF SHAFT WALL



2ND THRU 16TH FLOOR KEY PLAN

### KEY NOTES:

- 1 REPAINT THIS WALL TO MATCH EXISTING AFTER COMPLETION OF RELATED ELEVATOR WORK. ALL WALL REPAIRS AND PATCHING DUE TO INSTALLATION OF ELEVATOR FIXTURES MUST BE COMPLETED SO THAT THE WALL IS IN A "LIKE NEW" CONDITION AND NO REPAIR OR PATCH WORK IS EVIDENT. DO NOT PAINT ANY FLOOR LEVEL IDENTIFICATIONS OR OTHER SIGNAGE. 18TH FLOOR IS MARBLE. DO NOT DAMAGE.
- 2 EXISTING METAL ENTRANCE FRAMES - SAND ALL SURFACES SMOOTH AND REPAIR ANY DENTS TO FLUSH AND SMOOTH CONDITION. REPAINT (SPRAY PAINT) THESE COMPONENTS (COLOR TO MATCH EXISTING AS PROVIDED BY OWNER (P-5)). DO NOT PAINT ANY FLOOR LEVEL IDENTIFICATIONS OR OTHER SIGNAGE.
- 3 NEW FACTORY PRE-FINISHED LANDING DOORS ARE TO BE PROVIDED AS SPECIFIED. (COLOR ALSO TO MATCH EXISTING AS PROVIDED BY OWNER). THIS IS TYPICAL FOR ALL OPENINGS ON ALL FLOORS.
- 4 THIS IS THE TERMINATION POINT FOR THE MACHINE ROOM HVAC MONITORING (DATA JACK) LINE(S). CONTRACTOR IS TO FURNISH AND INSTALL ALL DEVICES ALONG WITH CONDUIT AND WIRING. FINAL CONNECTIONS AT COMMUNICATIONS ROOM WILL BE BY THE OWNER (UTS). ACTUAL TERMINATION LOCATION IN THIS ROOM IS TO BE COORDINATED WITH THE OWNER IN ADVANCE OF STARTING THIS WORK. SEE MECHANICAL, ELECTRICAL & ELEVATOR DOCUMENTS FOR ADDITIONAL INFORMATION.
- 5 THIS IS THE TERMINATION POINT FOR THE SECURITY CAMERA CABLE. CONTRACTOR IS TO FURNISH AND INSTALL ALL CONDUIT AND WIRING. SECURITY CAMERAS AND EQUIPMENT WILL BE FURNISHED AND INSTALLED BY THE OWNER (UTS/DLES). ACTUAL TERMINATION LOCATION IN THIS ROOM IS TO BE COORDINATED WITH THE OWNER IN ADVANCE OF STARTING THIS WORK. SEE ELECTRICAL & ELEVATOR DOCUMENTS FOR ADDITIONAL INFORMATION.
- 6 THIS IS THE TERMINATION POINT FOR THE CARD READER WIRING. CONTRACTOR IS TO PROVIDE ALL CONDUIT WITH FULL STRING ALONG WITH RELAY DEVICE, READER WIRING, EQUIPMENT INSTALLATION AND FINAL CONNECTIONS WILL BE BY THE OWNER (U.C.). ACTUAL TERMINATION LOCATION IN THIS ROOM IS TO BE COORDINATED WITH THE OWNER IN ADVANCE OF STARTING THIS WORK. SEE ELECTRICAL & ELEVATOR DOCUMENTS FOR ADDITIONAL INFORMATION.
- 7 SEE SPECIFICATION SECTION 140000 "GEARLESS TRACTION ELEVATORS" FOR ELEVATOR FIRE COMMAND CENTER AND INTERFACING WITH EXISTING FAC PANEL(S). REPAINT WALL AS REQUIRED UPON COMPLETION TO MATCH EXISTING.



17TH FLOOR KEY PLAN

### SYMBOL LEGEND:

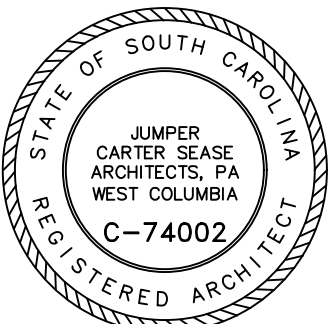
- ROOM # FOR CONSTRUCTION USE ONLY
- 1 PHOTO REFERENCE # (THIS SHEET)

### GENERAL NOTES:

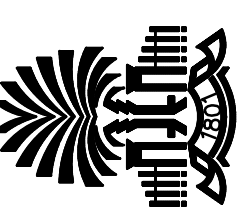
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Sease

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#### REVISIONS:

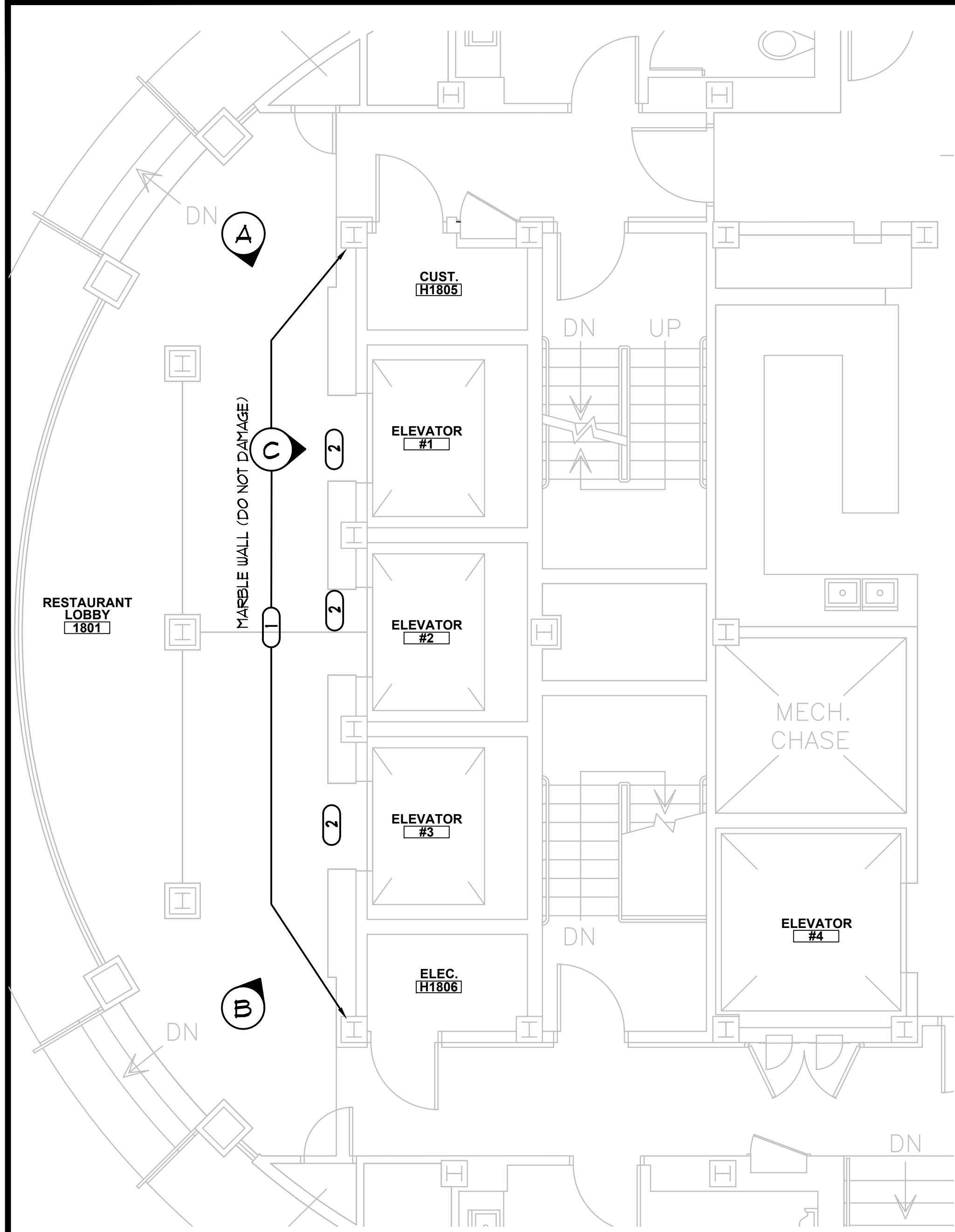
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CHECKED BY: KM  
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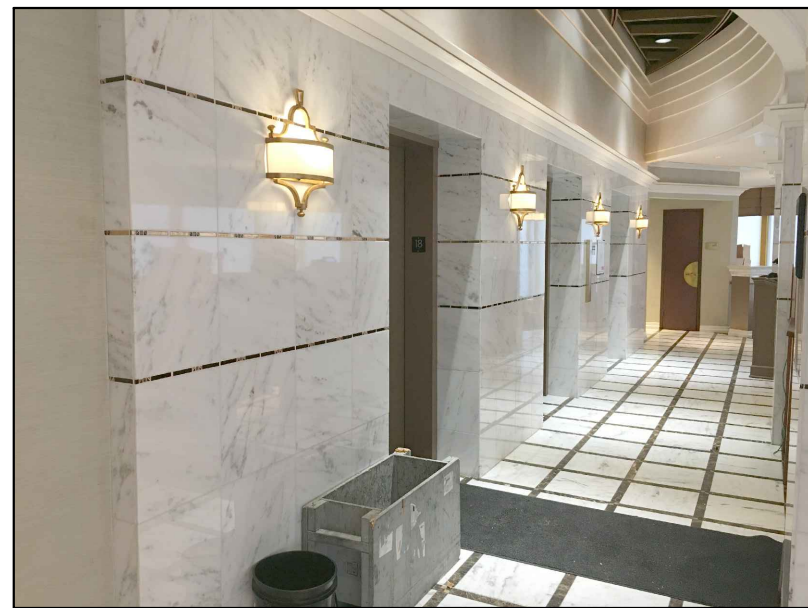
1ST FLOOR/  
2ND - 17TH FLOOR  
PLANS

SHEET NO:  
A102

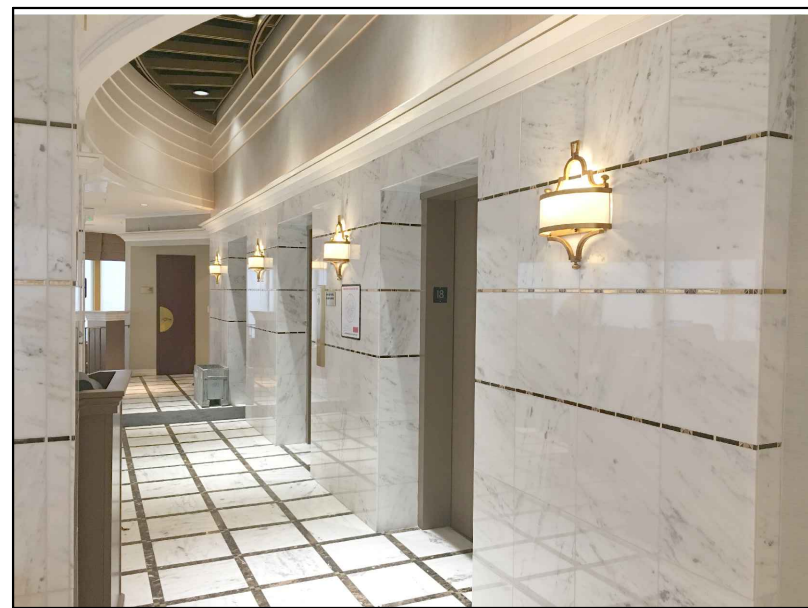




1 18TH LEVEL FLOOR PLAN  
1/4" = 1'-0"



A VIEW OF SHAFT WALL

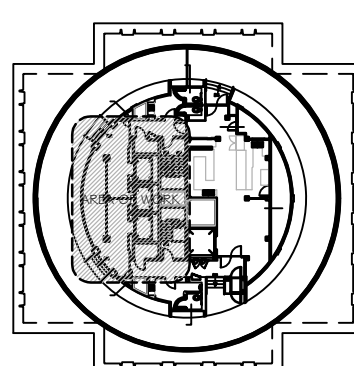


B VIEW OF SHAFT WALL

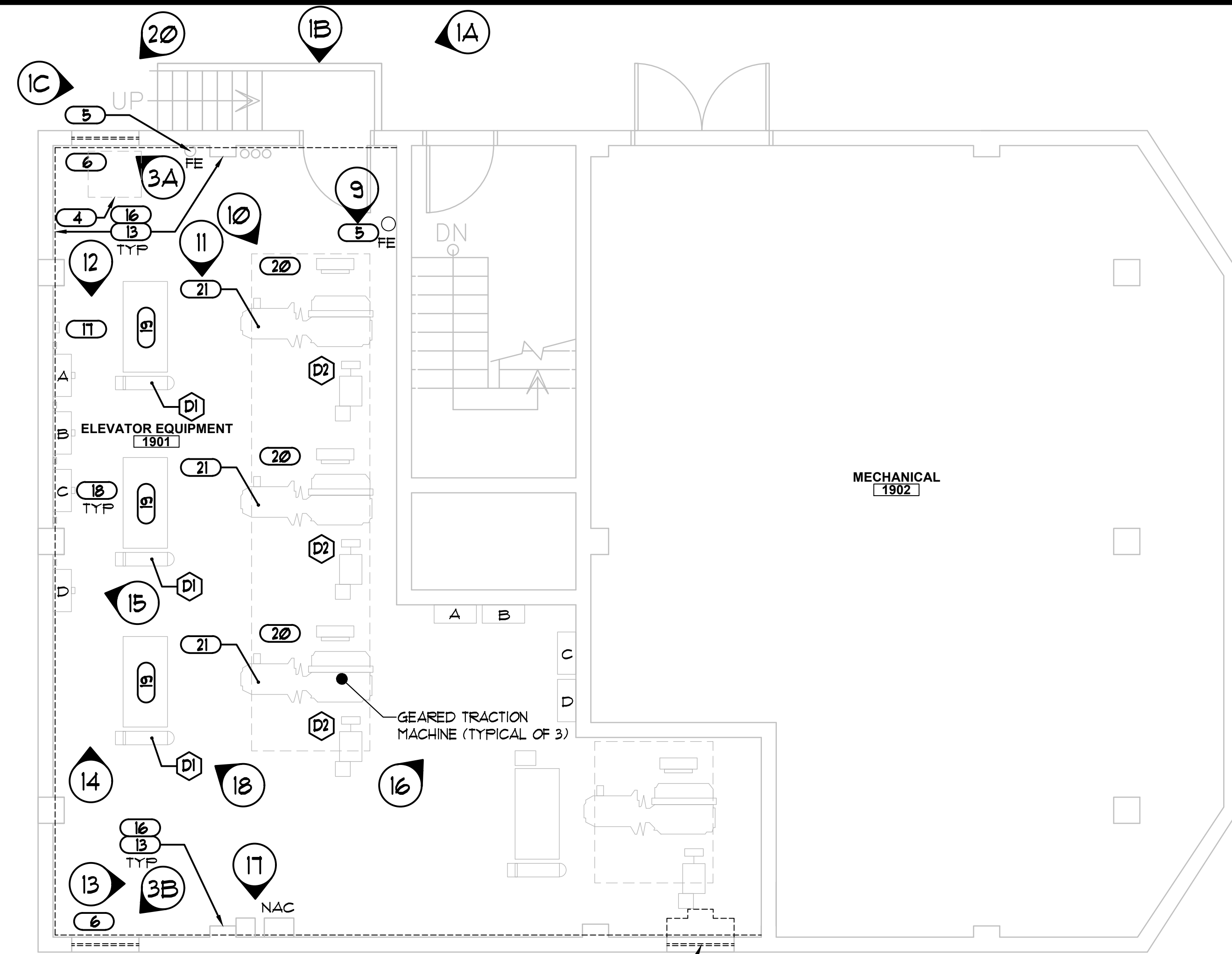


C EXISTING ENTRY DOOR (TYPICAL OF 3)

REPLACE EXISTING BRASS DOOR PLATES TO MATCH EXISTING (INCLUDING SCREWS)

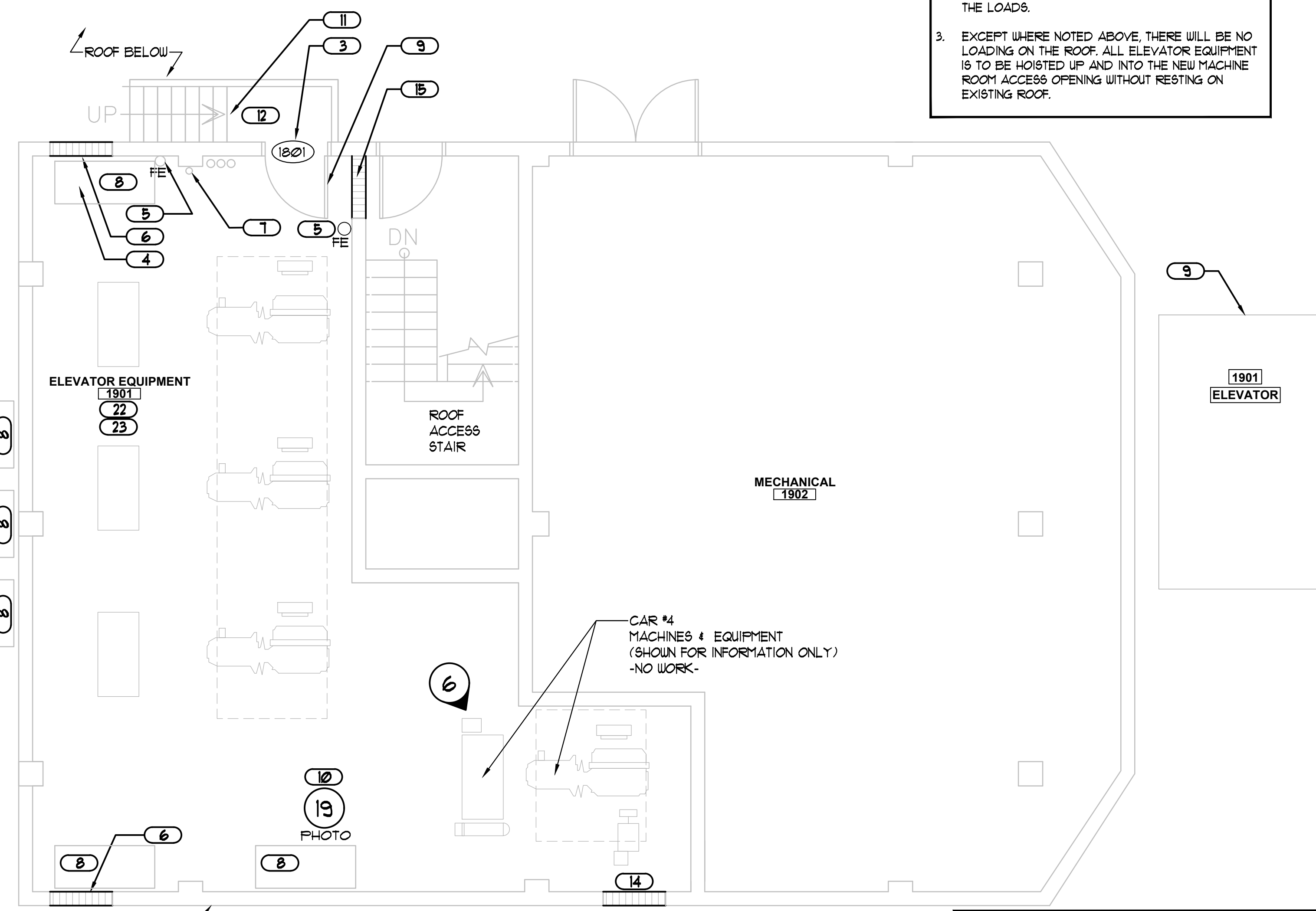


18TH LEVEL KEY PLAN



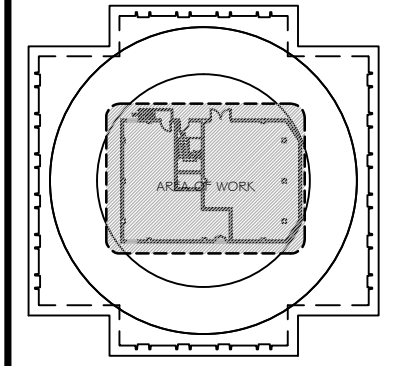
2 MECHANICAL ROOM DEMOLITION PLAN  
1/4" = 1'-0"

- NOTES:
- CONTRACTOR IS TO PROTECT EXISTING ROOF FROM ANY DAMAGE DURING THE COURSE OF THIS PROJECT.
  - THERE WILL BE NO STORAGE ALLOWED ON THE ROOF EXCEPT AS NECESSARY. PLYWOOD OR OTHER PROPER TEMPORARY PROTECTION MUST BE PROVIDED BY THE CONTRACTOR. ANY ROOF PROTECTION IS TO BE POSITIONED SO NOT TO BLOW AROUND OR MOVE, YET STILL EVENLY DISTRIBUTE THE LOADS.
  - EXCEPT WHERE NOTED ABOVE, THERE WILL BE NO LOADING ON THE ROOF. ALL ELEVATOR EQUIPMENT IS TO BE HOISTED UP AND INTO THE NEW MACHINE ROOM ACCESS OPENING WITHOUT RESTING ON EXISTING ROOF.



3 MECHANICAL ROOM UPGRADES PLAN  
1/4" = 1'-0"

- NOTES:
- THIS NEW EQUIPMENT LAYOUT IS DIAGRAMMATIC FOR PRE-PLANNING INFORMATION ONLY. ACTUAL EQUIPMENT AND LAYOUTS ARE TO BE PROVIDED BY THE ELEVATOR COMPONENTS MANUFACTURER & ELEVATOR CONTRACTOR. ALL INFORMATION IS TO BE COORDINATED WITH THE MANUFACTURER AND CONTRACTOR AS WELL.
  - CONTRACTOR IS RESPONSIBLE FOR CONCRETE PATCHING ANY ABANDONED EQUIPMENT PENETRATIONS AT MACHINE ROOM SLAB.
  - CUTTING AND PATCHING OF MACHINE ROOM WALLS AND FLOORS MUST BE BY QUALIFIED SKILLED TRADESMEN.
  - MACHINE REMOVAL AND REPLACEMENT SHALL BE PERFORMED WITH A CRANE WHEREBY THE OLD MACHINES AND CONTROLLERS SHALL BE REMOVED AND NEW MACHINES AND CONTROLLERS INSTALLED.



MECH. ROOM KEY PLAN

#### DEMOLITION NOTES:

- MOTOR GENERATOR TO BE REMOVED AS SPECIFIED. REPAIR FLOOR AS REQUIRED.
- SELECTOR TO BE REMOVED AS SPECIFIED. REPAIR FLOOR AS REQUIRED.
- REMOVE EXISTING ELEVATOR EQUIPMENT AND RELATED COMPONENTS AS REQUIRED TO ALLOW FOR ELEVATOR MODERNIZATION WORK AS SPECIFIED. SEE, ALSO, PHOTOS AS KEYED THIS SHEET

#### KEY NOTES, CONT:

- THIS ROOM IS EXPECTED THE TERMINATION POINT FOR THE SECURITY CAMERA CABLING COORDINATE WITH OWNER. CONTRACTOR IS TO FURNISH AND INSTALL ALL CONDUIT AND WIRING. SECURITY CAMERAS AND EQUIPMENT WILL BE FURNISHED AND INSTALLED BY THE OWNER (U.S.DLES). ACTUAL TERMINATION LOCATION IN THIS ROOM IS TO BE COORDINATED WITH THE OWNER IN ADVANCE OF STARTING THIS WORK. SEE ELECTRICAL & ELEVATOR DOCUMENTS FOR ADDITIONAL INFORMATION. THE SECURITY CAMERA IN EACH CAR WILL BE CONNECTED BY COPPER TO A MEDIA DEVICE WHICH CONVERTS TO FIBER OPTIC FROM THE CAR TO THE ELEVATOR EQUIPMENT ROOM. THERE WILL BE A MEDIA DEVICE IN THE ELEVATOR EQUIPMENT ROOM WHICH CONVERTS FROM FIBER BACK TO COPPER AND IS THEN CONNECTED TO A STANDARD ETHERNET TO "DO IT" NETWORKS WHICH THEN GO TO A DIGITAL RECORDER AT USCPD.

#### KEY NOTES, CONT:

- REPAINT THIS WALL TO MATCH EXISTING AFTER COMPLETION OF RELATED ELEVATOR WORK. ALL WALL REPAIRS AND PATCHING DUE TO INSTALLATION OF ELEVATOR FIXTURES MUST BE COMPLETED SO THAT THE WALL IS IN A "LIKE NEW" CONDITION AND NO REPAIR OR PATCH WORK IS EVIDENT. DO NOT PAINT ANY FLOOR LEVEL IDENTIFICATIONS OR OTHER SIGNAGE. (NOTE: 18TH FLOOR IS MARBLE. DO NOT DAMAGE).
- EXISTING METAL ENTRANCE FRAMES - SAND ALL SURFACES SMOOTH AND REPAIR ANY DENTS TO FLUSH AND SMOOTH CONDITION. REPAINT (SPRAY PAINT) THESE COMPONENTS (COLOR TO MATCH EXISTING AS PROVIDED BY OWNER (P-8)). DO NOT PAINT ANY FLOOR LEVEL IDENTIFICATIONS OR OTHER SIGNAGE.
- NEW FACTORY PRE-FINISHED LANDING DOORS ARE TO BE PROVIDED AS SPECIFIED. (COLOR ALSO TO MATCH EXISTING AS PROVIDED BY OWNER). THIS IS TYPICAL FOR ALL OPENINGS ON ALL FLOORS.
- REMOVE RUST, TREAT WITH OSHFO, SAND, PRIME & REPAINT EXISTING HOLLOW METAL ALL SIDES. REPLACE HM DOOR AS SCHEDULED. COLOR TO BE SEMI-GLOSS BLACK.
- EXISTING BLACK ELEVATOR STORAGE CABINET. PROTECT, CLEAN, AND REPOSITION WITHIN ROOM.
- PROVIDE NEW 10LB. ABC FIRE EXTINGUISHER & NO. 846 WALL BRACKET. TYPE MF-10 BY LARSEN'S MANUFACTURING COMPANY, J.L. INDUSTRIES, OR APPROVED EQUAL.
- REMOVE WOOD LOUVER & INFILL WALL OPENING TO MATCH EXISTING WALL. CONSTRUCTION WATER TIGHT. PAINT INTERIOR AS SCHEDULED. TREAT EXTERIOR SURFACE AS SPECIFIED. SEE PHOTO #3/A103 & #20/A103.
- EXISTING FIRE ALARM PULL STATION. SEE ELECTRICAL FOR FIRE ALARM SCOPE. SEE PHOTO #1/A103.
- NEW AIR HANDLER UNITS AT INTERIOR AND CONDENSING EQUIPMENT ON GALVANIZED STEEL WALL MOUNTED RACKS & ASSOCIATED WORK. SEE MECHANICAL DRAWINGS.
- PROVIDE UNFRAMED CAST ALUMINUM SIGNS AS MANUFACTURED BY SUPERSINE. LETTERS TO BE SATIN ALUMINUM. BACKGROUND COLOR BLACK. MATCH STYLE ON MECHANICAL ROOM BELOW.
- CONTRACTOR TO REMOVE ANY EXISTING DEBRIS OR ABANDONED ITEMS AS REQUIRED. THOROUGHLY CLEAN ALL SURFACES. THOSE SURFACES SCHEDULED TO BE PAINTED ARE TO BE PREPARED PER PAINT MANUFACTURER'S WRITTEN INSTRUCTIONS. COLOR TO BE SEMI-GLOSS BLACK.
- EXISTING MACHINE ROOM ACCESS METAL STAIRS - HAND TOOL CLEAN, SAND, AND REMOVE ALL RUST & TREAT WITH OSHFO. PRIME AND PAINT COMPLETE PER PAINT MANUFACTURER'S WRITTEN INSTRUCTIONS. COLOR TO BE SEMI-GLOSS BLACK.
- EXISTING METAL STAIRS & RAILS REMOVE RUST HAND TOOL CLEAN, TREAT WITH OSHFO, SAND, PRIME & REPAINT ALL SURFACES COMPLETE. COLOR P-8. SEE PHOTOS #1 / A103.
- EXISTING METAL LATHE & PLASTER FIRE PROTECTION AT PERIMETER STEEL BEAM - REPAIR WHERE DAMAGED AND COMPLETE AT CROSS BEAMS TO PROVIDE UL COMPLIANT, 2 HOUR FIRE RATED PROTECTION OF STEEL BEAM ALONG TOP OF PERIMETER WALLS OF THIS ROOM. SEE PHOTO #2 / A103 FOR EXAMPLES OF EXISTING CONDITIONS. FIELD VERIFY EXTENTS. COORDINATE WITH OWNER TO CONFIRM ANY PRESENCE OF ASBESTOS CONTAINING MATERIALS (ACM). ANY ABATEMENT WILL BE BY OWNER.
- REMOVE EXISTING LOUVER, FAN & RELATED WIRING & CONDUIT, INFILL WALL OPENING TO MATCH EXISTING WALL. CONSTRUCTION WATER TIGHT. PAINT INTERIOR AS SCHEDULED, SEE MECHANICAL DRAWINGS. TREAT EXTERIOR SURFACE AS SPECIFIED SEE ALSO PHOTO #5/A103.
- IN FILL WALL OPENING AROUND PIPE PENETRATIONS TO PROVIDE 2 HOUR RATED WALL CONDITION. U.L. ASSEMBLY MUST ALLOW FOR MOVEMENT OF PENETRATING PIPES. SEE PHOTO #4 / A103.
- FIRE CAULK PERIMETER BEAM PROTECTION TO WALL & COLUMN & CONCRETE CEILING CONTINUOUS, FIRE CAULK TO BE PAINTABLE.
- NEW CAB LIGHT DISCONNECTS TO BE INSTALLED. REFER TO SPECIFICATIONS.
- EXISTING DISCONNECTS TO BE REPLACED. REFER TO SPECIFICATIONS.
- CONTROLLER, REPLACE IN PLACE. REFER TO SPECIFICATIONS.
- OVER SPEED GOVERNOR TO BE REPLACED. REFER TO SPECIFICATIONS.
- HOIST MOTOR, REPLACE IN PLACE. REFER TO SPECIFICATIONS.
- THIS ROOM IS THE TERMINATION POINT FOR THE MACHINE ROOM HVAC MONITORING (DATA JACK) LINE(S). CONTRACTOR IS TO FURNISH AND INSTALL ALL DEVICES ALONG WITH CONDUIT AND WIRING. FINAL CONNECTIONS WILL BE BY THE OWNER (U.S.). ACTUAL TERMINATION LOCATION IN THIS ROOM IS TO BE COORDINATED WITH THE OWNER IN ADVANCE OF STARTING THIS WORK. SEE MECHANICAL, ELECTRICAL & ELEVATOR DOCUMENTS FOR ADDITIONAL INFORMATION.

#### SYMBOL LEGEND:

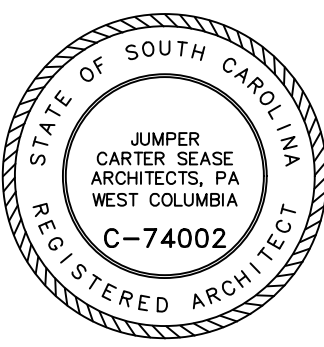
- ROOM # FOR CONSTRUCTION USE ONLY  
PHOTO REFERENCE # (SHEET A103)

#### GENERAL NOTES:

- THIS PROJECT CONSISTS OF MODERNIZING THE CONTROLS OF THE 3 EXISTING ORIGINAL GEARED TRACTION PASSENGER ELEVATORS. ELEVATOR COMPONENTS ALONG WITH OTHER RELATED IMPROVEMENTS AS INDICATED WITHIN THE CONTRACT DOCUMENTS.
- IT IS IMPORTANT TO NOTE THAT THE LAYOUTS FOR THE PIT, HOISTWAY, ROOF LEVELS AND MACHINE ROOM ARE DIAGRAMMATIC ONLY AND IN NO WAY REPRESENT ACCURATE EXISTING CONDITIONS. ALL AREAS AND CONDITIONS OF THIS WORK ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.
- PRIOR TO START OF ANY WORK THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE ANY PRESENCE OF HAZARDOUS MATERIALS ALONG WITH THE PROPER PROCEDURES FOR ABATEMENT & DISPOSAL WHILE ABATEMENT & TESTING WILL BE BY THE OWNER. DISPOSAL OF ITEMS SUCH AS THE ELEVATOR DOORS BEING REPLACED MAY BE BY THE CONTRACTOR. CONTRACTOR IS TO COORDINATE THIS TASK WELL IN ADVANCE OF START OF THE PROJECT SO TO INCLUDE IN THE CONSTRUCTION SCHEDULE.
- REFER TO SPECIFICATION SECTION 09300 "RELATED WORK" FOR ADDITIONAL INFORMATION & SCOPE REQUIREMENTS ASSOCIATED WITH THIS PROJECT. REFER ALSO TO MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- THE ONSITE WORK FOR THIS PROJECT IS TO BE PERFORMED SO THAT ALL WORK IS TO BE TOTALLY COMPLETE WITHOUT ANY EXCEPTIONS. ALL SUBMITTALS AND PRODUCT LEAD TIMES ARE TO BE SCHEDULED AND COMPLETED IN AS MUCH ADVANCE AS POSSIBLE BEFORE THE START OF WORK AND AFTER THE AWARD OF THE CONTRACT TO ENSURE THAT ALL WORK IS 100% COMPLETE BY SCHEDULED COMPLETION DATE. WORK WILL BE COMPLETED ONE CAR AT A TIME. COORDINATE SEQUENCE WITH OWNER.
- BUILDING ACCESS - CONTRACTOR ACCESS TO THE BUILDING AND SITE WILL BE 1 DAYS A WEEK FROM 8:00 AM - 5:00 PM (NO REAL NOISE TILL 9:00 AM). ALL CONSTRUCTION PERSONNEL WILL BE REQUIRED TO OBTAIN CAR ACCESS FROM THE OWNER. THIS IS TO BE COORDINATED AND ARRANGED IN A TIMELY MANNER BEFORE CONSTRUCTION STARTS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS ASSOCIATED WITH THIS WORK. CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING DUST CURTAINS AND CLEAN-UP AT AREAS REQUIRING CUTTING OR DRILLING OF EXISTING MASONRY OR CONCRETE. ANY AIR GRILLES WITH THESE AREAS MUST ALSO BE COVERED TO PREVENT DUST FROM ENTERING HVAC SYSTEM(S). ALL WORK AREAS ARE TO BE THOROUGHLY CLEANED BY THE CONTRACTOR PRIOR TO COMPLETION OF WORK. DAILY CLEAN-UP IS ALSO REQUIRED.
- ANY ITEMS/MATERIALS INDICATED TO BE REUSED AND/OR RELOCATED SHALL BE STORED IN A SAFE AND DRY ENVIRONMENT UNTIL REINSTALLATION. CONTRACTOR SHALL THOROUGHLY CLEAN ITEMS/MATERIALS TO BE RELOCATED.
- CONTRACTOR IS TO TAKE CAUTION NOT TO DAMAGE ANY EXISTING PROPERTY OR CONSTRUCTION. ANY SUCH DAMAGE WILL BE REPAIRED OR REPLACED AT THE OWNER'S DISCRETION WITHOUT ANY ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS TO PROTECT OPEN ENTRANCES DURING LANDING DOOR PANEL REMOVING AND PAINTING ACTIVITIES. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE RE-INSTALLATION OF THESE BARRICADES, HANDRAILS AND KICK BOARDS, WHICH MAY BE TEMPORARILY REMOVED IN THE PERFORMANCE OF ELEVATOR WORK ACTIVITIES.
- ONE FLOOR WILL BE DESIGNATED AS THE STAGING FLOOR (POSSIBLY FLOOR 11) TO BE CONFIRMED WITH OWNER AT PRE-CONSTRUCTION CONFERENCE. ALL STAGING MUST BE SAFELY SECURED BEHIND A TEMPORARY PROTECTIVE WALL AT ALL TIMES. THIS TEMPORARY PROTECTIVE WALL IS TO BE PROVIDED BY THE CONTRACTOR. ALL ITEMS ARE TO BE PUT AWAY EACH NIGHT ON A DAILY BASIS. NO EXCEPTIONS.
- THE CONTRACTOR IS TO COORDINATE WITH THE OWNER & PROVIDE ALL SAFETY SIGNAGE AS REQUIRED DURING THIS PROJECT AS THE BUILDING WILL BE OCCUPIED DURING THIS WORK. ONE ELEVATOR AT A TIME WILL BE MODERNIZED.
- CONTRACTOR IS TO PROTECT CABS, ENTRANCES AND SPECIAL METAL FINISHES FROM DAMAGE AFTER INSTALLATION.
- ANY PENETRATION THRU FIRE RATED CONSTRUCTION MUST BE SEALED IN ACCORDANCE WITH THE PROPER U.L. ASSEMBLY DETAIL.
- ABANDONED CONDUIT, EQUIPMENT, ETC., NO LONGER IN USE IS TO BE REMOVED FROM MACHINE ROOM PRIOR TO PAINTING OF FINISHED ROOM.

Jumper  
Carter  
Sease

Architects  
PA  
412 Meeting Street  
West Columbia  
South Carolina



CAPSTONE HOUSE ELEVATOR CONTROLS UPGRADE  
UNIVERSITY OF SOUTH CAROLINA  
COLUMBIA, SOUTH CAROLINA



REVISIONS:

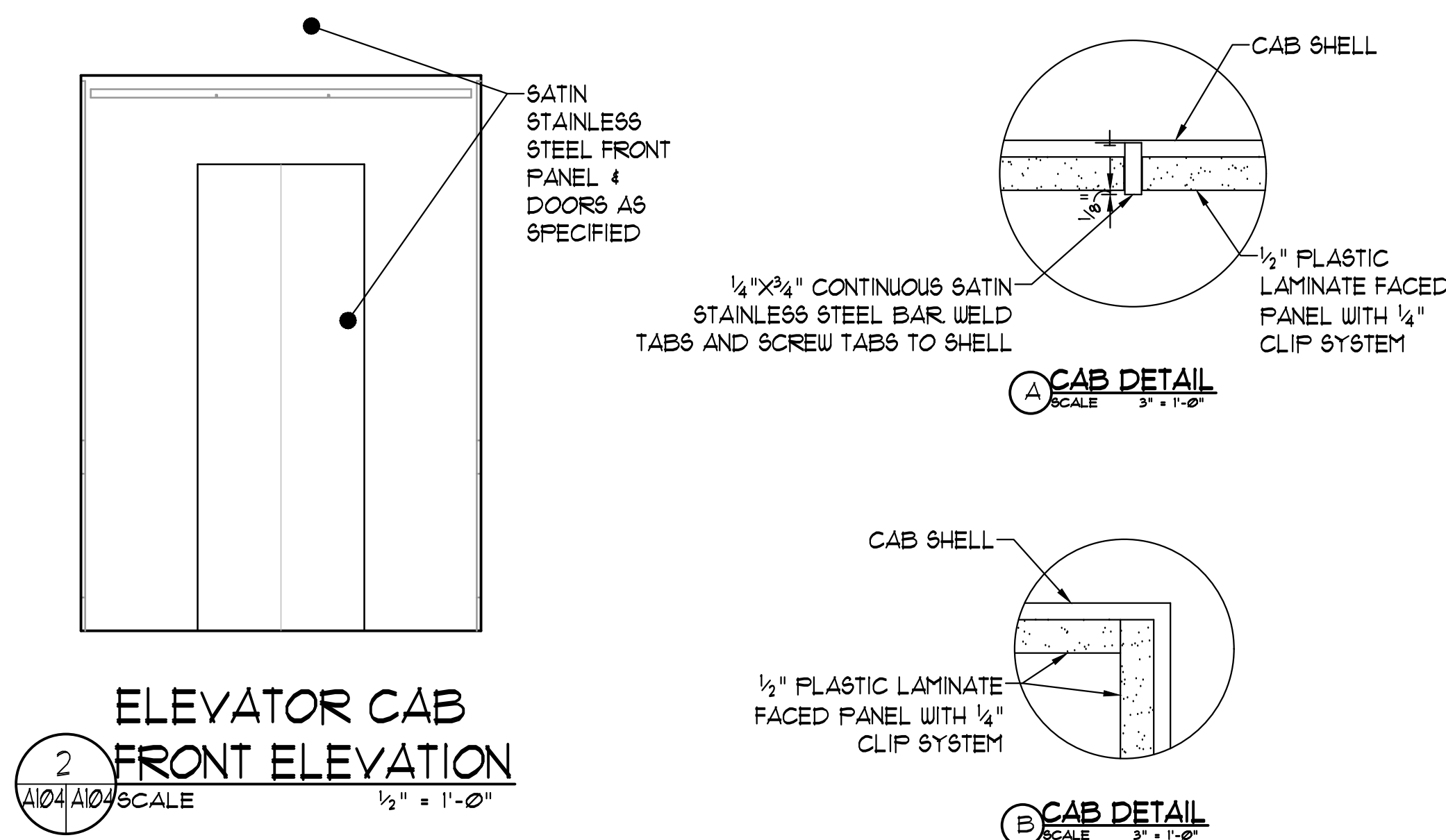
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CHECKED BY: KM  
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DATE: JANUARY 22, 2021  
SHEET TITLE:

18TH LEVEL/  
MECHANICAL ROOM  
DEMOLITION &  
UPGRADES  
PLANS

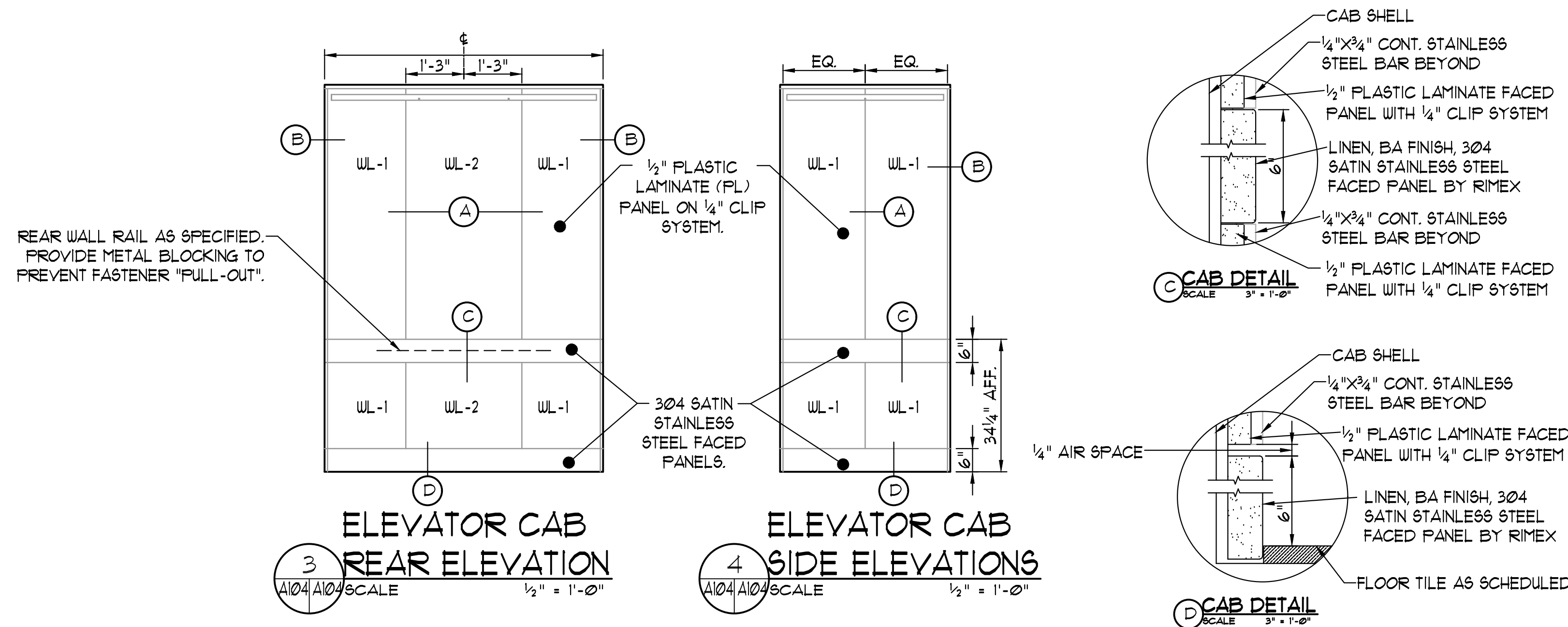
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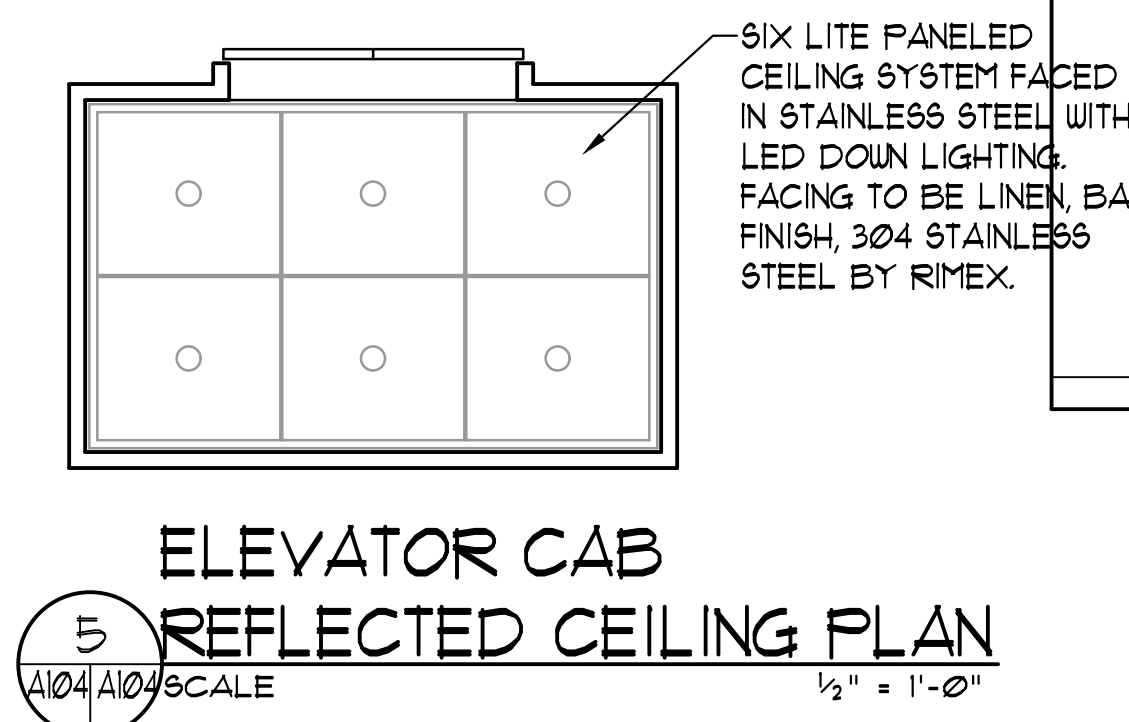


2 ELEVATOR CAB FRONT ELEVATION  
1/10" = 1'-0"  
SCALE

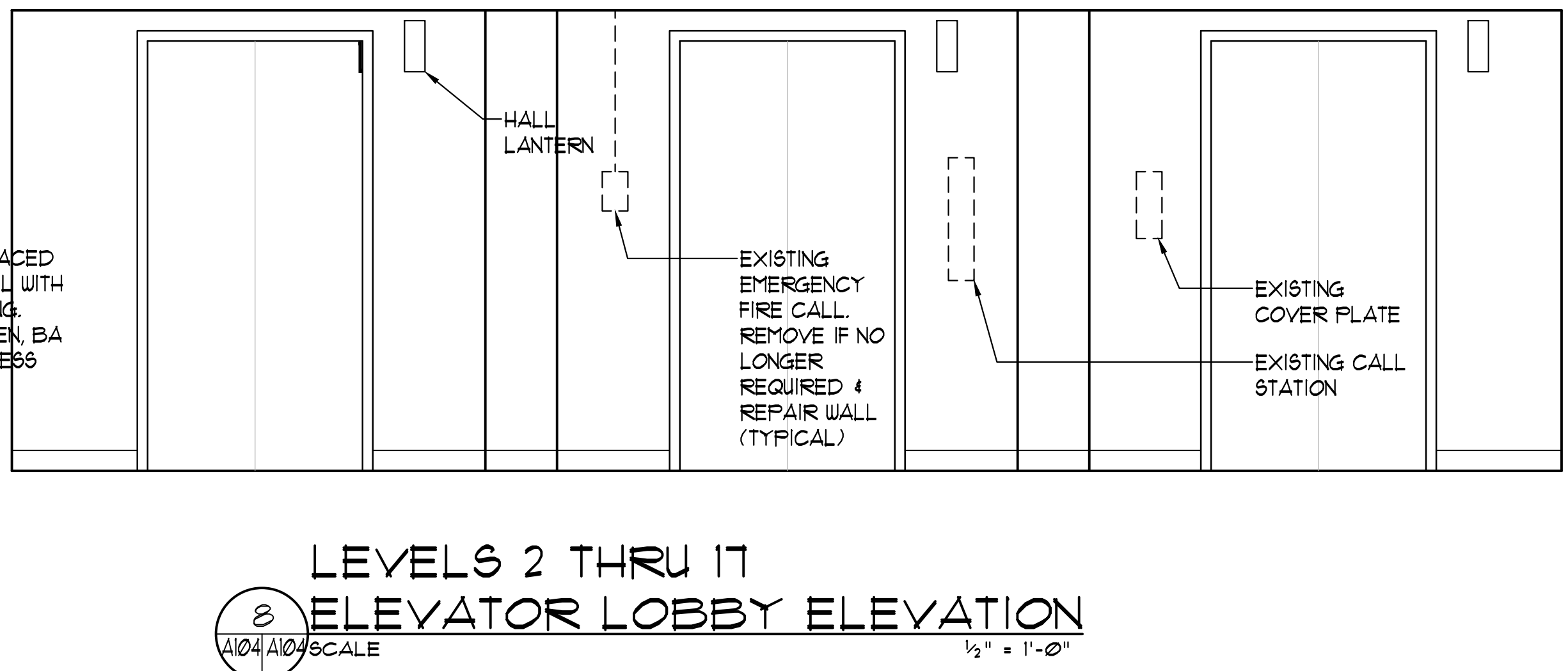


3 ELEVATOR CAB REAR ELEVATION  
1/10" = 1'-0"  
SCALE

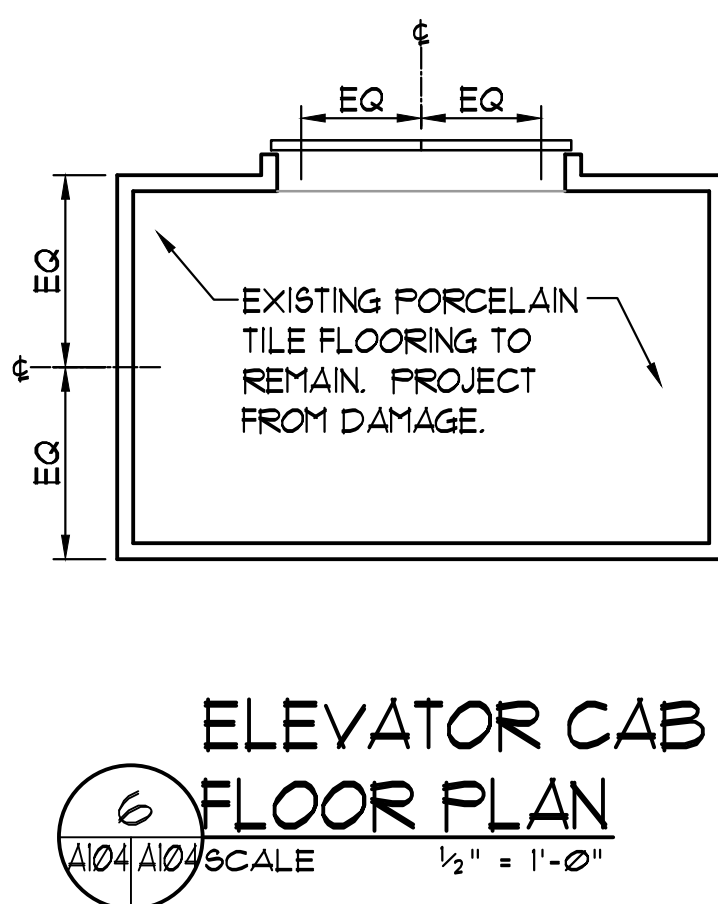
4 ELEVATOR CAB SIDE ELEVATIONS  
1/10" = 1'-0"  
SCALE



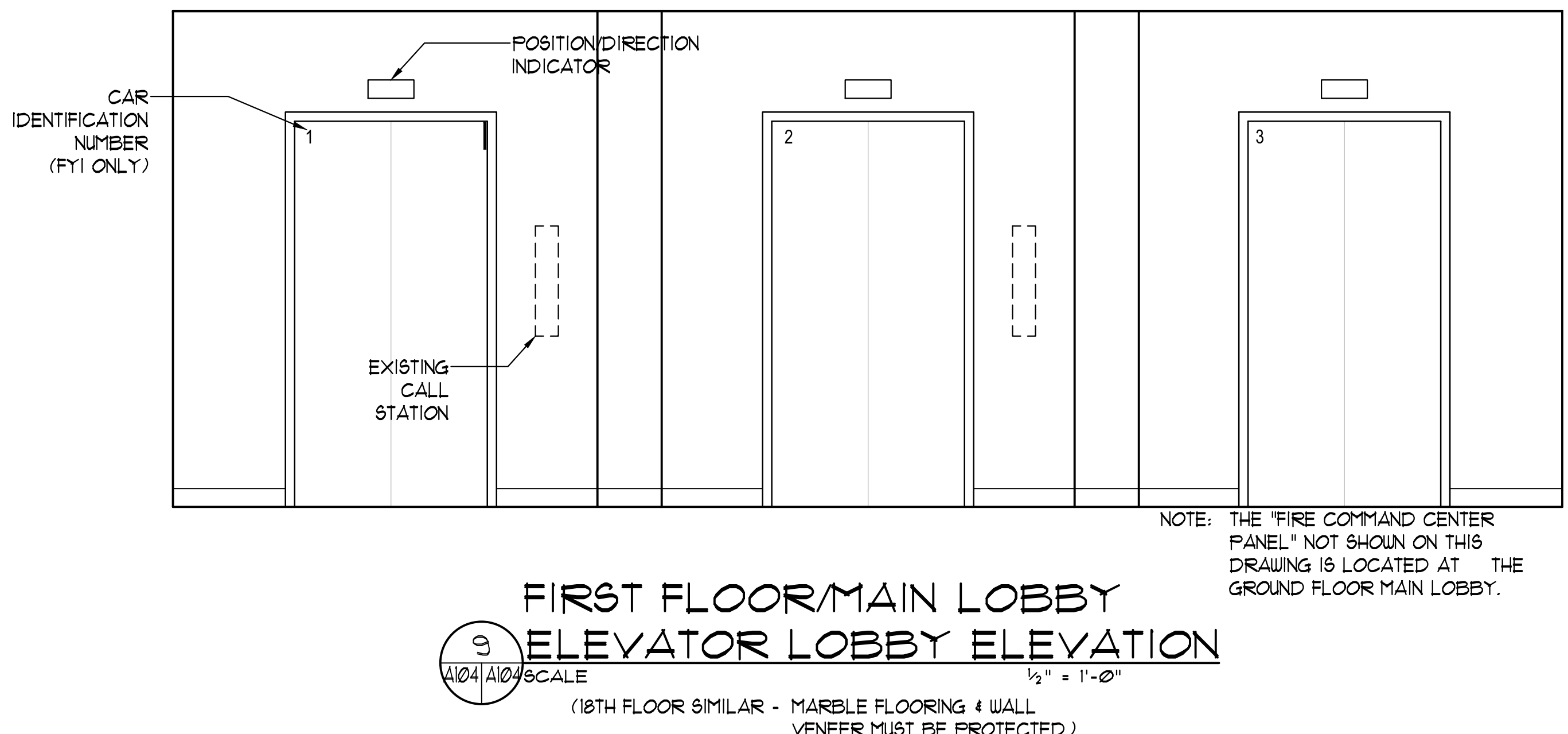
5 ELEVATOR CAB REFLECTED CEILING PLAN  
1/2" = 1'-0"  
SCALE



8 LEVELS 2 THRU 17 ELEVATOR LOBBY ELEVATION  
1/2" = 1'-0"  
SCALE



6 ELEVATOR CAB FLOOR PLAN  
1/2" = 1'-0"  
SCALE



9 FIRST FLOOR/MAIN LOBBY ELEVATOR LOBBY ELEVATION  
1/10" = 1'-0"  
SCALE  
(18TH FLOOR SIMILAR - MARBLE FLOORING & WALL VENEER MUST BE PROTECTED.)

NO.	NAME	FLOOR	BASE	WALLS						EXISTING CEILING HEIGHT	ENTRANCE FRAMES	REMARKS FINISH NOTES
				NORTH	EAST	SOUTH	WEST	EXISTING	FINISH			
H001	BASEMENT LOBBY	EXG/YCT	EXG/RUB/CMU	EXG/RUB/CMU	EXG/RUB/CMU	EXG/RUB/CMU	EXG/RUB/CMU	8'-6"	P-5	PAINT ONLY AREA OF NORTH WALL INDICATED.		
H101	1ST FLOOR LOBBY	EXG/FT	EXG/RUB/PLASTER	P-1	-	-	-	9'-4"	P-5	PAINT ONLY AREA OF NORTH WALL INDICATED.		
H001-H001	2ND-16TH FLOOR LOBBY	EXG/CPT	EXG/RUB/CMU	P-1	-	-	-	8'-0"	P-5	PAINT ONLY AREA OF NORTH WALL INDICATED.		
H1101	17TH FLOOR LOBBY	EXG/FT	EXG/RUB/PLASTER	P-1	-	-	-	9'-4"	P-5	PAINT ONLY AREA OF NORTH WALL INDICATED.		
H1201	18TH FLOOR LOBBY	EXG/MARBLE	EXG/RUB/MARBLE	-	-	-	-	8'-0"	P-5	DO NOT DAMAGE MARBLE VENEER		
1901	ELEVATOR EQUIP. RM.	CONC/P-11	RUB-1	CMU	P-3	CMU	P-3	CMU	P-3	8'-6"	N/A	NOTES 11, 12 & 13.

## FINISHES:

LUXURY VINYL TILE (ELEVATOR CABS):  
FFT-1 EXISTING PORCELAIN TILE FLOOR TO REMAIN. PROTECT FROM DAMAGE.

WALL LAMINATE (ELEVATOR CABS):  
WL-1 WILSONARTY PREMIUM LAMINATE 1960-18, STUDIO TEAK IN LINEARITY FINISH  
WL-2 RIMEX METAL, LINEN PATTERN, BA FINISH, 304 STAINLESS STEEL

BASE:  
RUB-1 RUBBER WALL BASE, 6"-BLACK (ELEVATOR EQUIP. RM.)

INTERIOR PAINT COLORS:  
P-1 WALL PAINT: MATCH EXISTING  
P-2 NOT USED  
P-3 WALL PAINT: SW 1555 "PATIENCE" (EG-SHEL)  
P-4 WALL PAINT: NOT USED  
P-5 TRIM PAINT: MATCH EXISTING ENTRANCE FRAME COLOR  
P-6 NOT USED  
P-7 NOT USED  
P-8 TRIM PAINT: SW 6930 "CAVIAR" (SEMI-GLOSS)  
P-9 CEILING PAINT: SW 1006 "EXTRA WHITE" (EG-SHEL)  
P-10 NOT USED  
P-11 FLOOR PAINT: COLOR TBD  
P-12 SPRINKLER PIPING: SAFETY RED

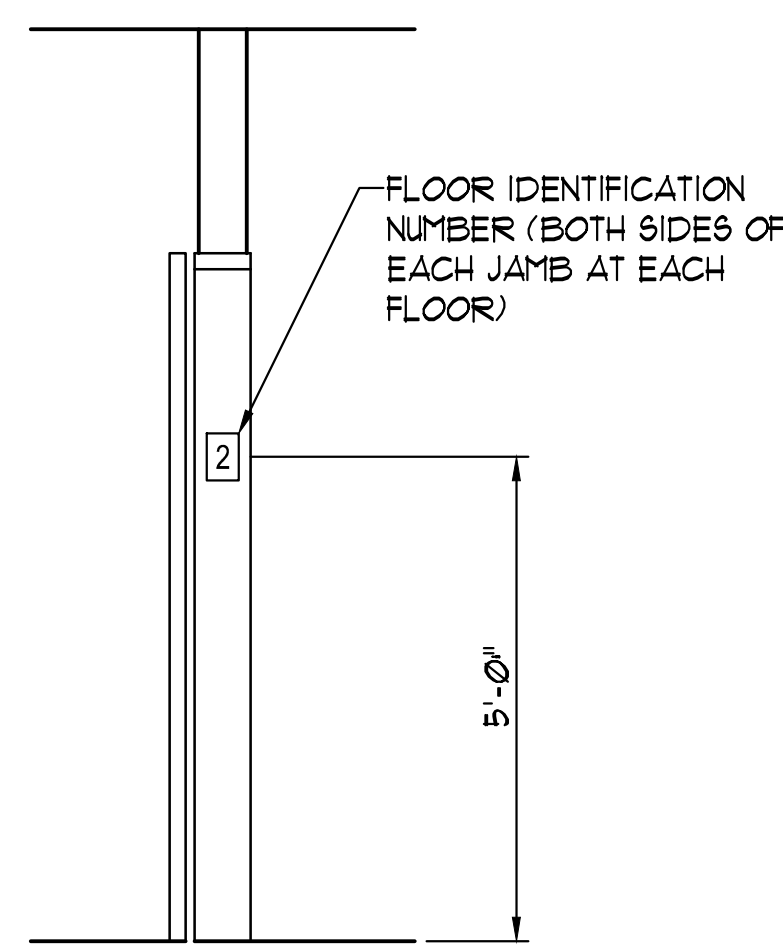
## FINISH SCHEDULE ABBREVIATIONS:

RUB RUBBER WALL BASE  
YCT VINYL COMPOSITIONAL TILE  
LVT LUXURY VINYL TILE  
PT PORCELAIN TILE  
EXG EXISTING  
CONC CONCRETE  
CPT CARPET  
TERR TERRAZZO  
GWB GYPSUM WALL BOARD  
UD WOOD  
TBD TO BE DETERMINED  
UL WALL LAMINATE

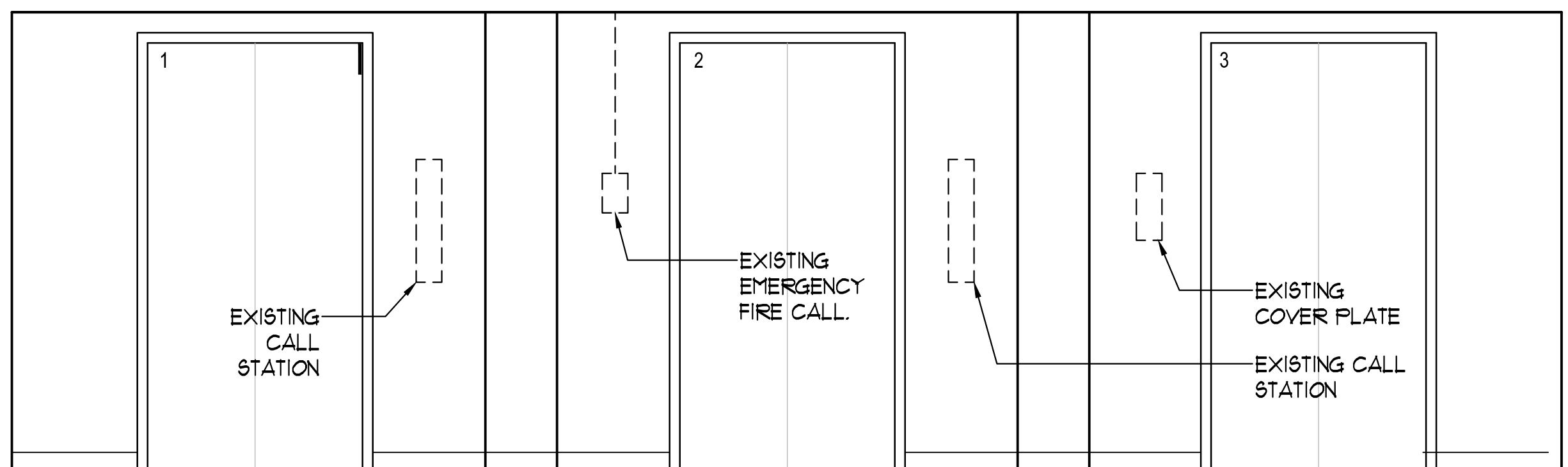
## FINISH NOTES:

(APPLIES TO ALL SPACES UNLESS NOTE IS LISTED FOR SPECIFIC SPACE IN REMARKS COLUMN ABOVE)

- FINISHES INDICATED ARE TO BE INCLUDED IN ALL SUBMITTALS FOR FINAL CONFIRMATION.
- CONTRACTOR IS TO COVER AND PROTECT ALL EQUIPMENT FROM DAMAGE, NEW PAINT OR REQUIRED PREPARATION PROCEDURES. ALL EXISTING PERMANENT SIGNAGE, CLOCKS, ALUMINUM DOORS & FRAMES, WALL BASE, NATURAL BRICK, FLOORING, WALL CORNER GUARDS, TEXTURED FASCIA & CEILING, AND CEILING GRID MUST ALSO BE PROTECTED. THE PAINT CONTRACTOR IS RESPONSIBLE FOR THE CLEANING OF ALL EXCESS PAINT. ANY ITEM DAMAGED BY PAINTING CONTRACTOR'S ATTEMPT TO CLEAN WILL BE THE RESPONSIBILITY OF THE PAINTER TO REPLACE AT THE OWNER'S OPTION.
- CONTRACTOR SHALL PROTECT AND PAINT AROUND ALL FIRE EXTINGUISHERS, FIRE EXTINGUISHER CABINETS, WALL-MOUNTED ELECTRONICS, EQUIPMENT, RACEWAYS OR DEVICES, TACK BOARDS, TACK STRIPS, ACOUSTICAL PANELS, AND SPEAKERS UNLESS OTHERWISE NOTED. EXPOSED CONDUIT MAY BE PAINTED TO MATCH ADJACENT SURFACE, BUT DO NOT PAINT ASSOCIATED DEVICES.
- REMOVE ALL DEVICE COVERS, PAINT WALL AND REINSTALL. DO NOT PAINT LIFE SAFETY DEVICES.
- REMOVE ANY EXPOSED SCREWS, CLIPS, WALL ANCHORS, ETC. AND PATCH/REPAIR WALL PRIOR TO PAINTING.
- REFER TO SPECIFICATIONS FOR ELEVATOR CAB FINISHES.
- CEILING HEIGHTS NOTED ARE APPROXIMATE FOR BIDDING PURPOSES ONLY. FIELD VERIFY AS REQUIRED.
- WALLS INDICATED AS PLASTER ARE PLASTER OVER A CMU SUBSTRATE.
- REFER TO FLOOR PLANS FOR ADDITIONAL WALL PAINTING INFORMATION.
- ELEVATOR CAB FINISHES: TO BE PROVIDED UNDER SPECIFIED ALLOWANCE. FINISHES NOT SPECIFIED ARE TO BE SELECTED BY OWNER.
- PAINT EXISTING CONCRETE CEILING AND BEAMS P-9.
- PROVIDE 6" RUBBER WALL BASE AT ALL WALLS.
- PAINT EXISTING SPRINKLER PIPING RED. P-12.
- SAND & REPAIR ELEVATOR ENTRY FRAMES AS REQUIRED TO RECEIVE NEW SPRAY PAINTED COATING. ANY FEELING PAINT IS TO BE REMOVED. PAINT COMPATIBILITY IS TO BE CONFIRMED BY PAINT MANUFACTURER'S LOCAL REPRESENTATIVE PRIOR TO ORDERING PAINT. ALL PREPARATION SHALL BE IN ACCORDANCE WITH PAINT MANUFACTURER'S WRITTEN RECOMMENDATIONS. COLOR(S) AS SELECTED BY OWNER.
- COORDINATE FINISH OF ELEVATOR DEVICES ON LOBBY WALLS WITH OWNER PRIOR TO SUBMITTALS AS EXISTING APPEARS TO BE BRASS FINISH. SEE 18TH FLOOR PHOTOS ON SHEET A103.



7 ELEVATOR HOISTWAY JAMB ELEVATION  
1/10" = 1'-0"  
SCALE



10 BASEMENT ELEVATOR LOBBY ELEVATION  
1/2" = 1'-0"  
SCALE

DOOR SCHEDULE																
NO.	DOOR						FRAME						FIRE LBL.	REMARKS		
	TY.	WIDTH	HEIGHT	TKS.	MATL.	FINISH	LIGHT		TY.	H	J	S			MATL.	FIN.
							SIZE	GL. TYPE								
1801	A	3'-0"	7'-0"	P4"	HM	PAINT	-	-	EXG	-	-	-	HM	PAINT	-	INSULATED, NOTE 2.

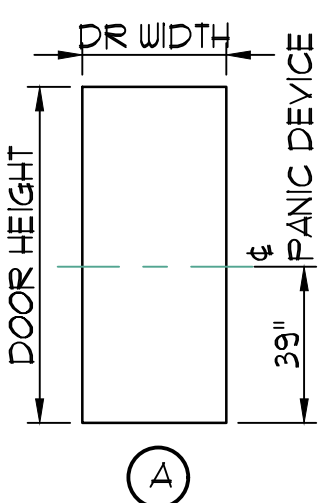
DOOR SCHEDULE ABBREVIATIONS:  
EXG EXISTING  
HM HOLLOW METAL

DOOR SCHEDULE NOTES:  
1. REFER TO SPECIFICATIONS FOR ADDITIONAL DOOR AND DOOR HARDWARE INFORMATION.  
2. PAINT DOOR & FRAME P-9 (BLACK) AT INTERIOR & EXTERIOR.  
3. FIELD VERIFY DOOR SIZE.  
4. MODIFY FRAME AS REQUIRED TO RECEIVE NEW DOOR & HARDWARE. REPAIR AS NEEDED FOR NEW FRAME LOOK.  
5. COORDINATE WITH OWNER FOR PROPER CORE AND KEYING TO BE PROVIDED BY CONTRACTOR.

## DOOR HARDWARE SCHEDULE

HINGES (3) BB1219 4 1/2" x 4 1/2" NRP US26D  
EXIT DEVICE (1) 99NL 48" US26D  
CYLINDER (1) IE12 626  
CLOSER (1) 404XP EDA 603  
THRESHOLD (1) HALF SADDLE AT INTERIOR AS REQUIRED  
PERIMETER WEATHER SEAL (1) 315 CR 48"x82"

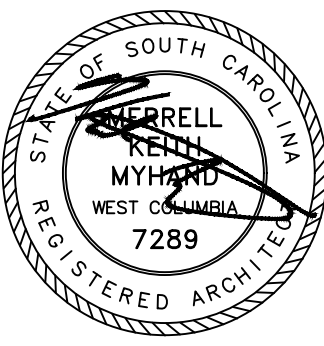
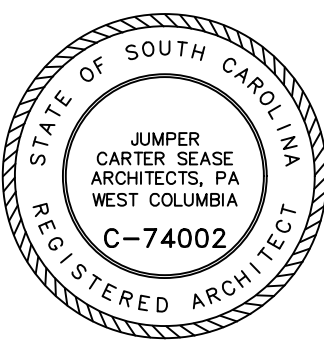
HAGER  
VON DUFRIN  
BEST  
LCN  
PEMCO  
PEMCO



DOOR TYPES  
SCALE 1/4" = 1'-0"

Jumper  
Carter  
Sease

Architects  
PA  
412 Meeting Street  
West Columbia  
South Carolina



CAPSTONE HOUSE ELEVATOR CONTROLS UPGRADE  
UNIVERSITY OF SOUTH CAROLINA  
COLUMBIA, SOUTH CAROLINA



REVISIONS:

DRAWN BY: SL  
CHECKED BY: KM  
COMM NO: 20102  
DATE: JANUARY 22, 2021  
SHEET TITLE:

ELEVATOR CAB  
PLANS &  
ELEVATIONS/  
FINISH & DOOR  
SCHEDULES

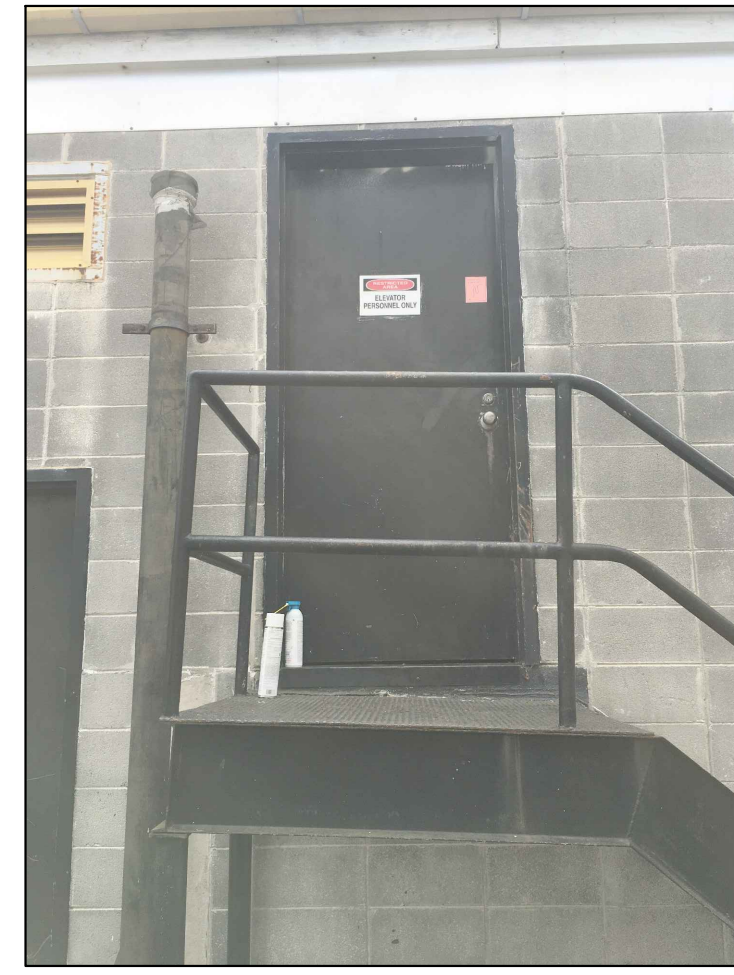
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A104

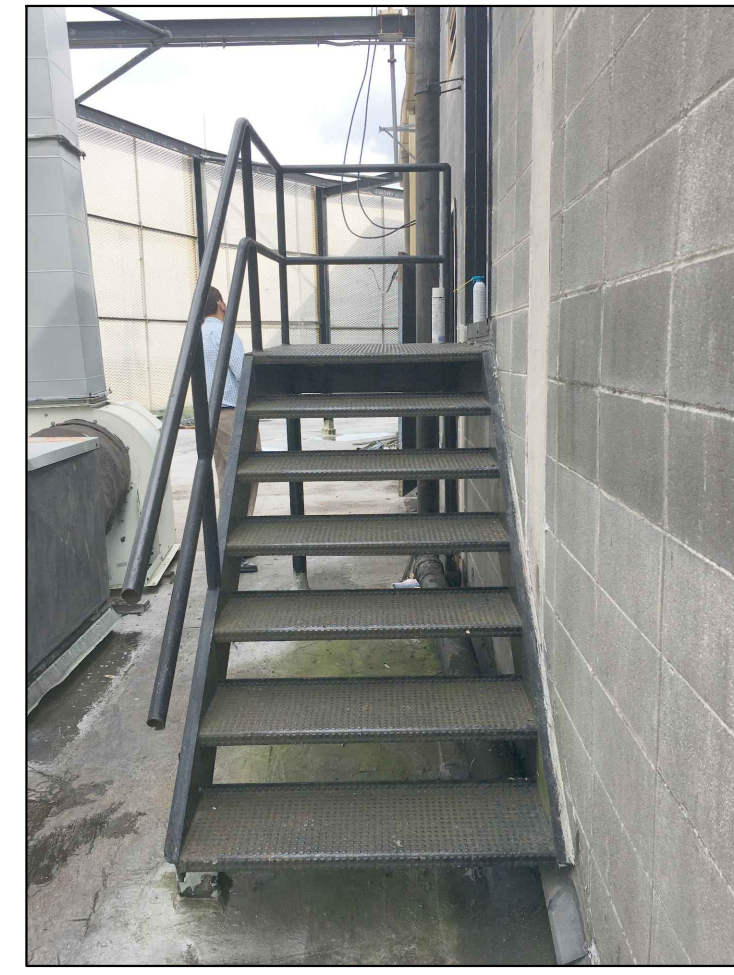




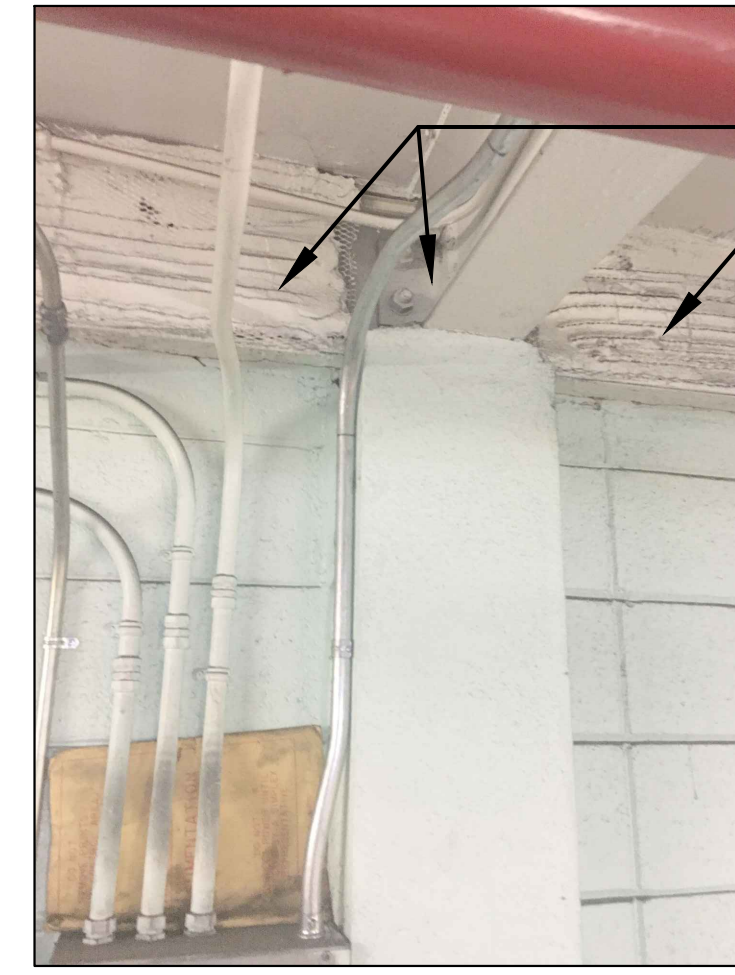
1a) EXISTING METAL STAIR & DOOR



1b) EXISTING METAL DOOR & STAIR LANDING



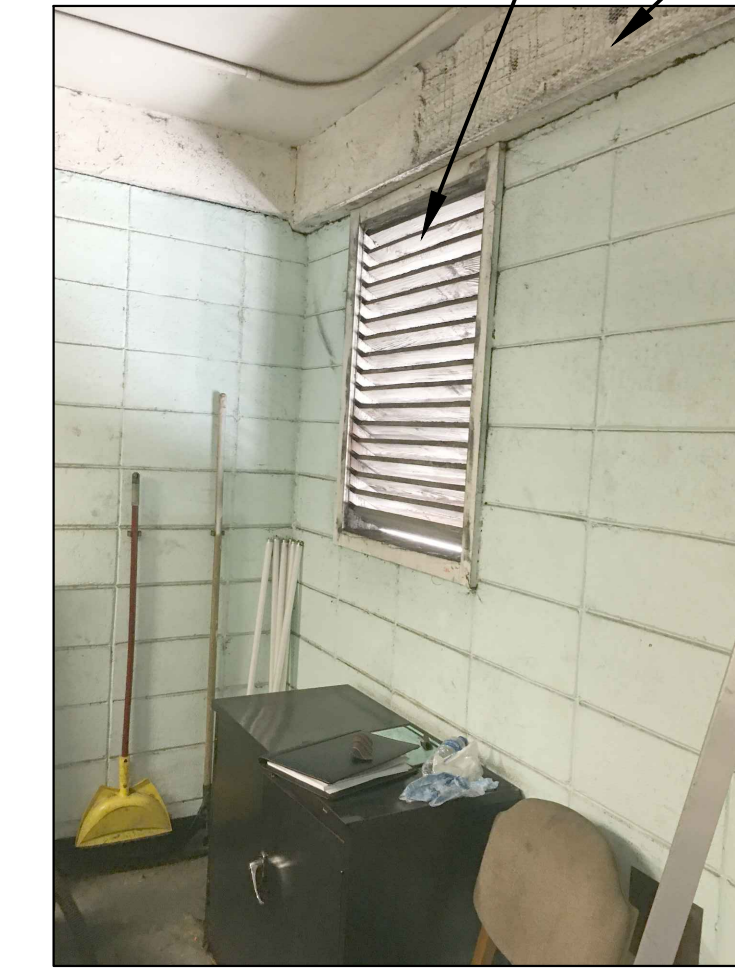
1c) EXISTING METAL STAIR & RAIL



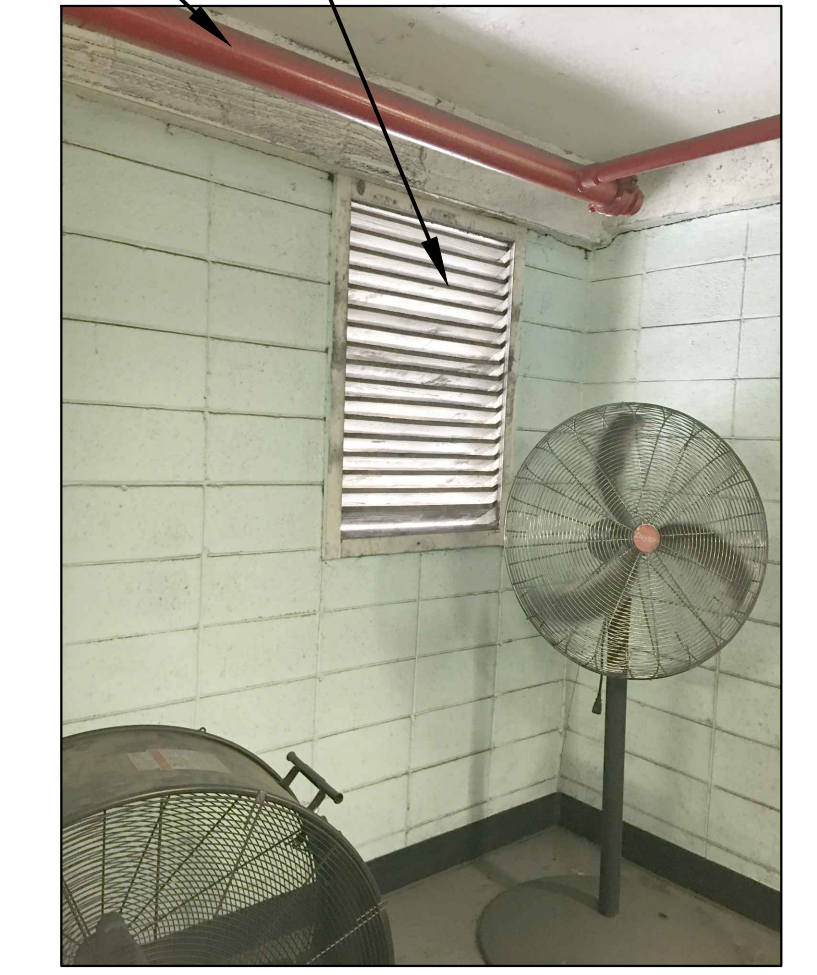
2a) EXISTING METAL LATHE & PLASTER FIRE PROTECTION AT PERIMETER STEEL BEAM. TYPICAL CONDITION. FIELD VERIFY EXTENTS.



2b) EXISTING METAL LATHE & PLASTER FIRE PROTECTION AT PERIMETER STEEL BEAM. TYPICAL CONDITION. FIELD VERIFY EXTENTS.



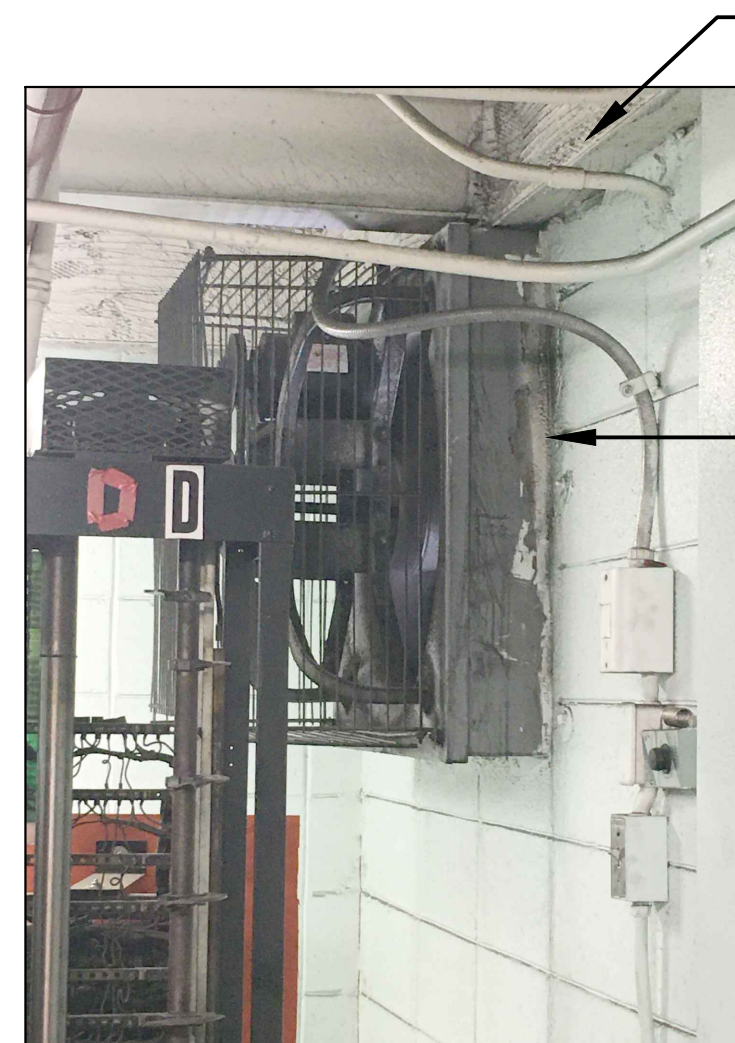
3a) EXISTING WOOD LOUVER CONDITION



3b) EXISTING WOOD LOUVER CONDITION



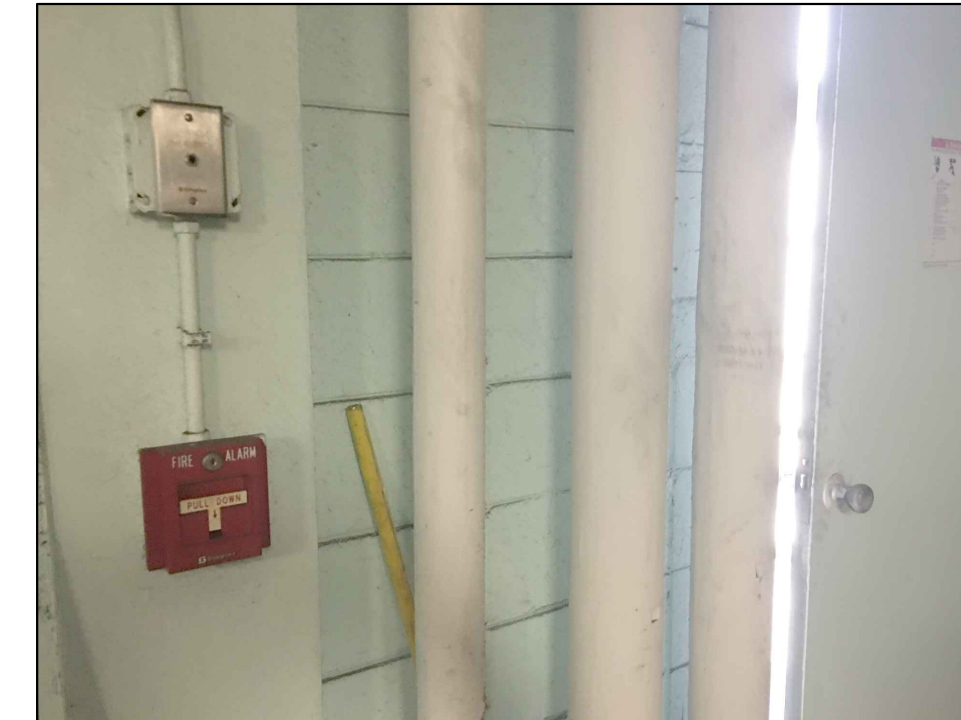
4) EXISTING PENETRATION OPENING TO BE INFILLED.



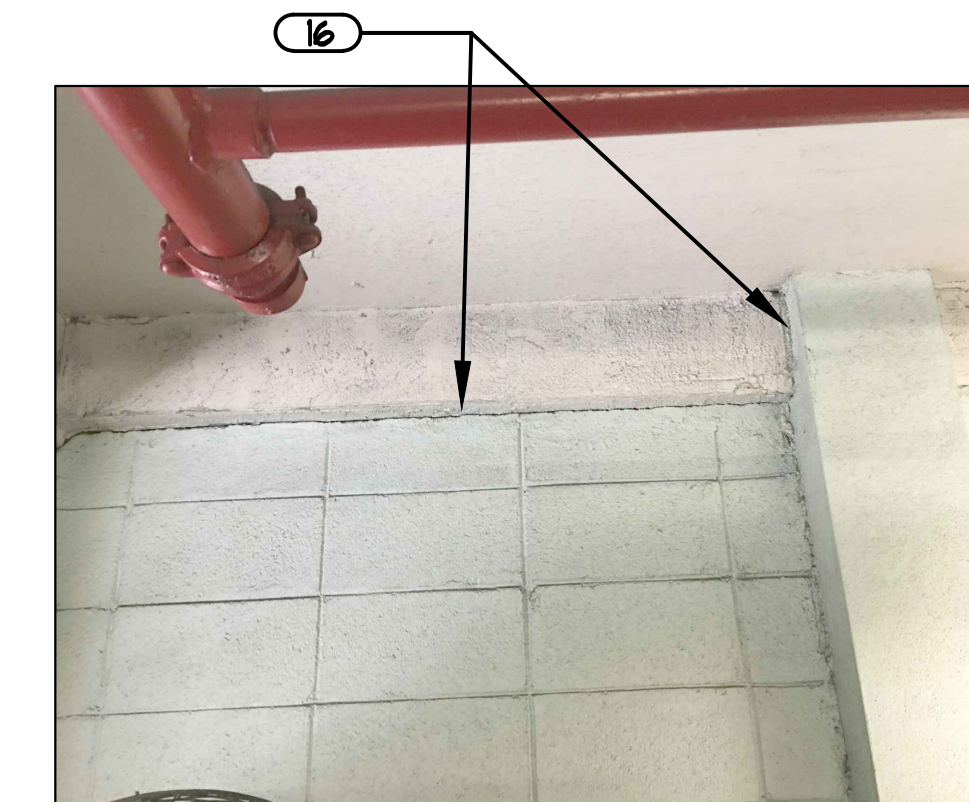
5) EXISTING FAN & LOUVER TO BE REMOVED.



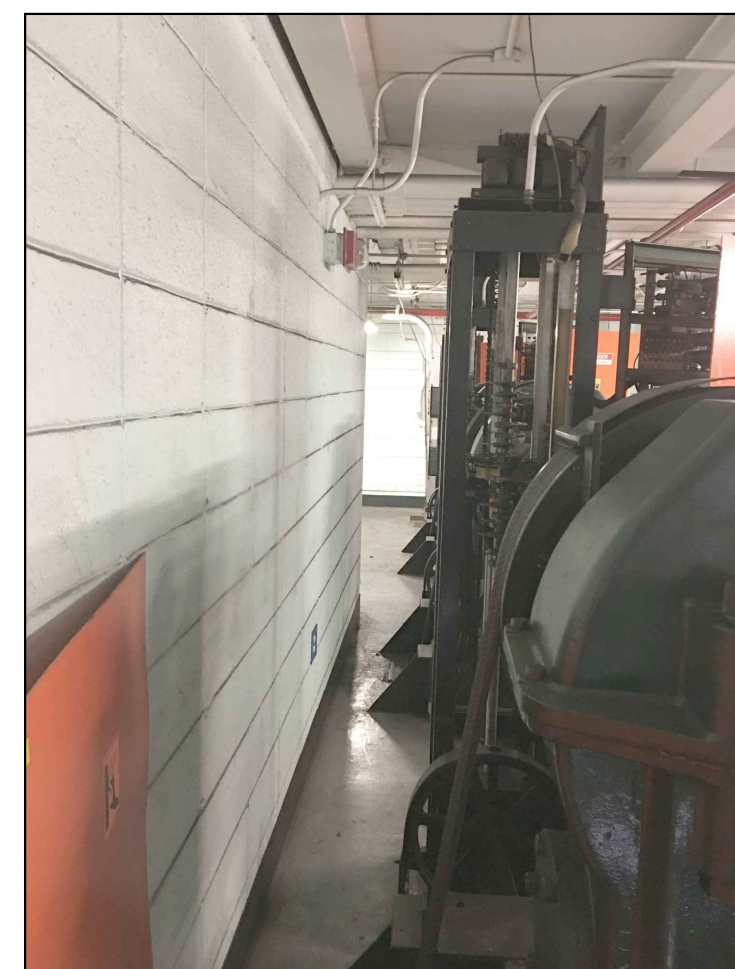
6) CAR #4 MACHINES (NO WORK)



7) EXISTING FIRE ALARM PULL STATION



8) FIRE CAULK PERIMETER BEAM PROTECTION TO WALL (PAINTABLE).



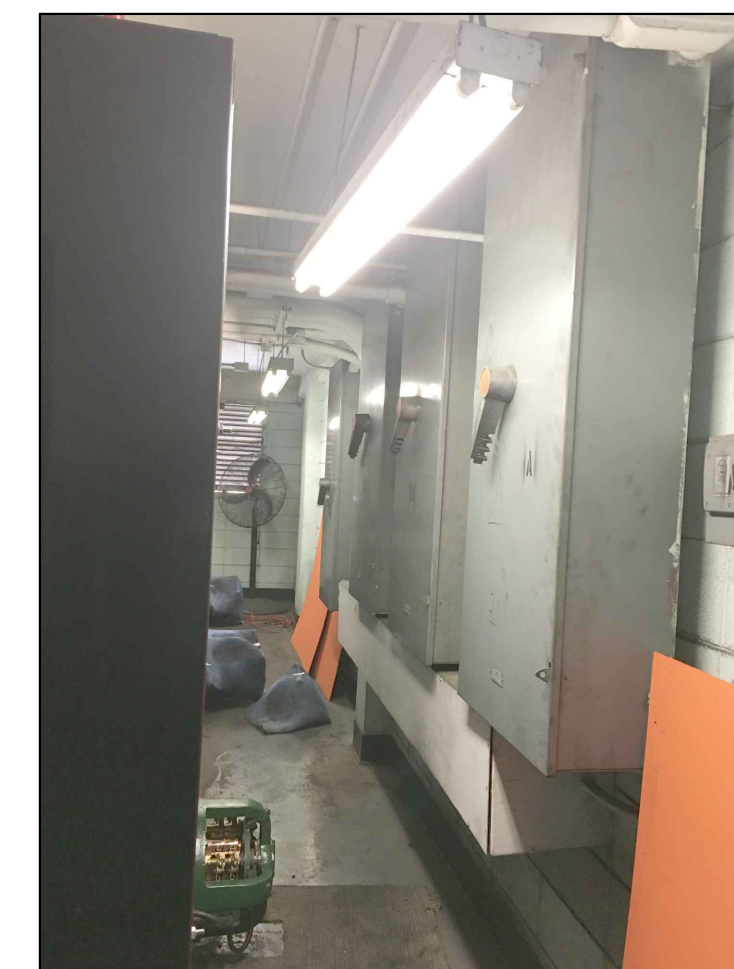
9) ELEVATOR EQUIPMENT ROOM



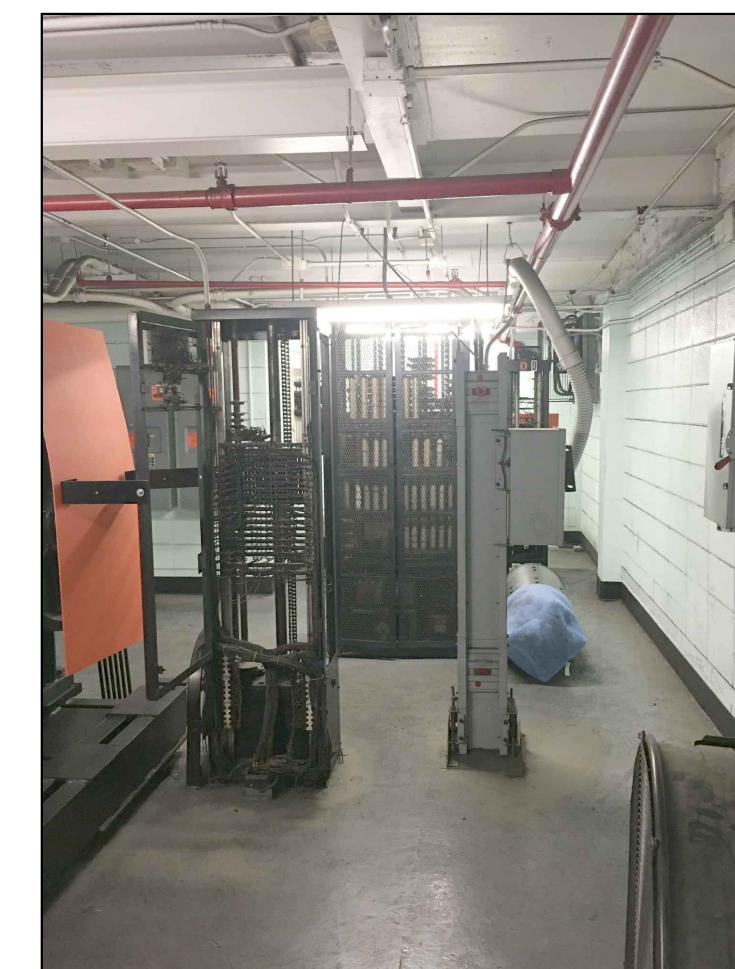
10) ELEVATOR EQUIPMENT ROOM



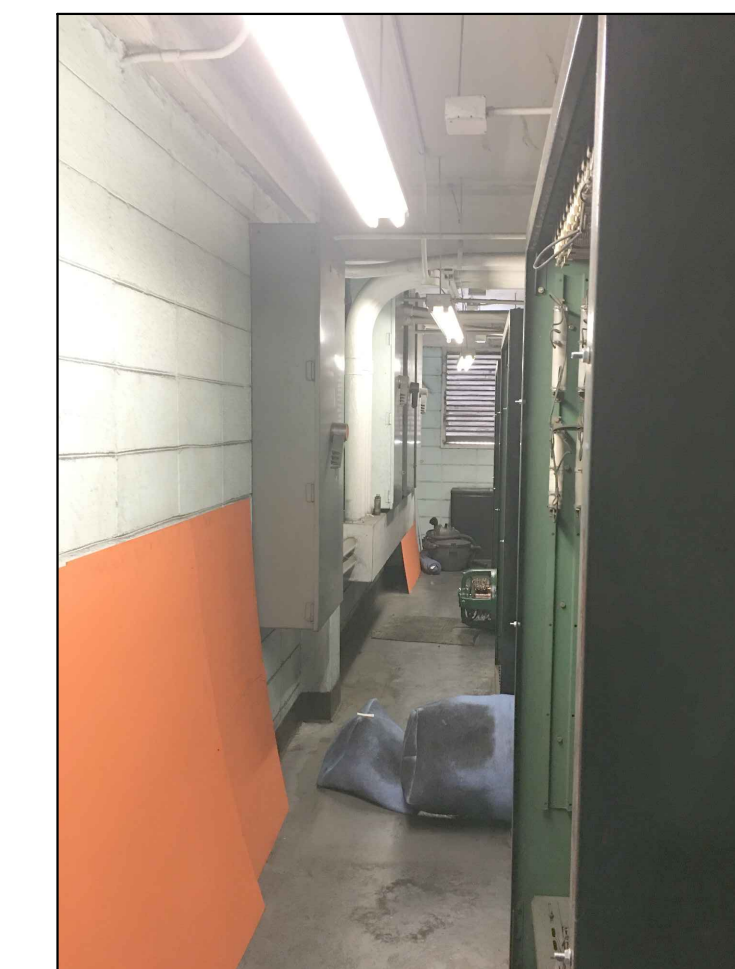
11) ELEVATOR EQUIPMENT ROOM



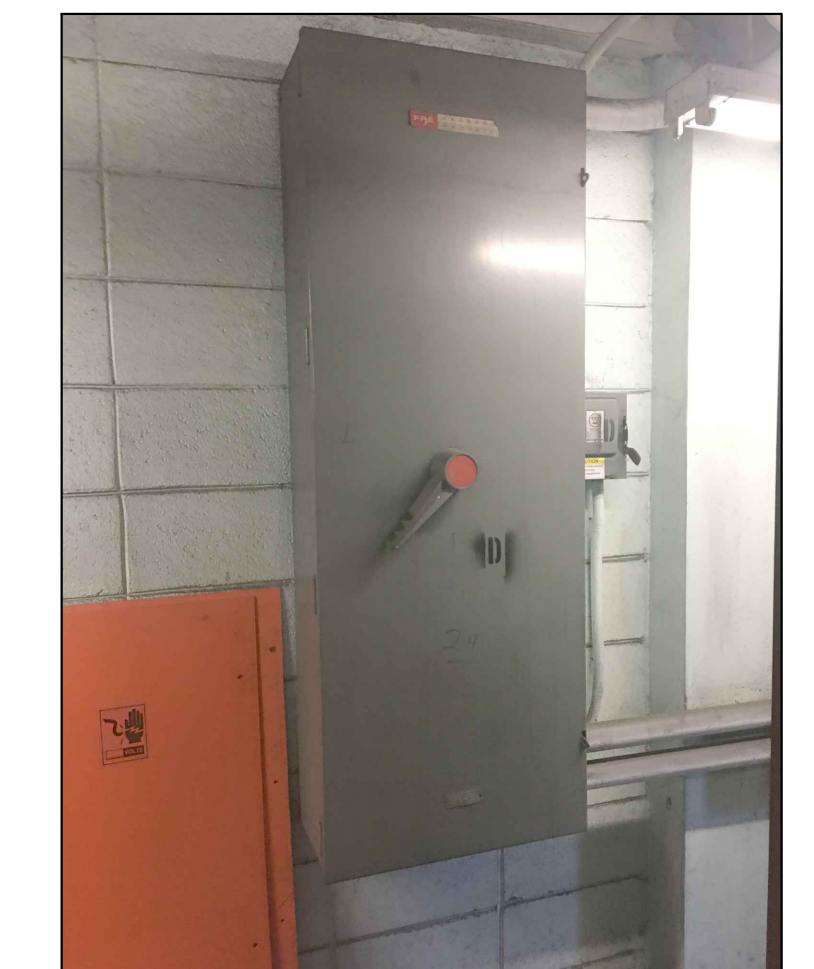
12) ELEVATOR EQUIPMENT ROOM



13) ELEVATOR EQUIPMENT ROOM



14) ELEVATOR EQUIPMENT ROOM



15) EXISTING DISCONNECTS



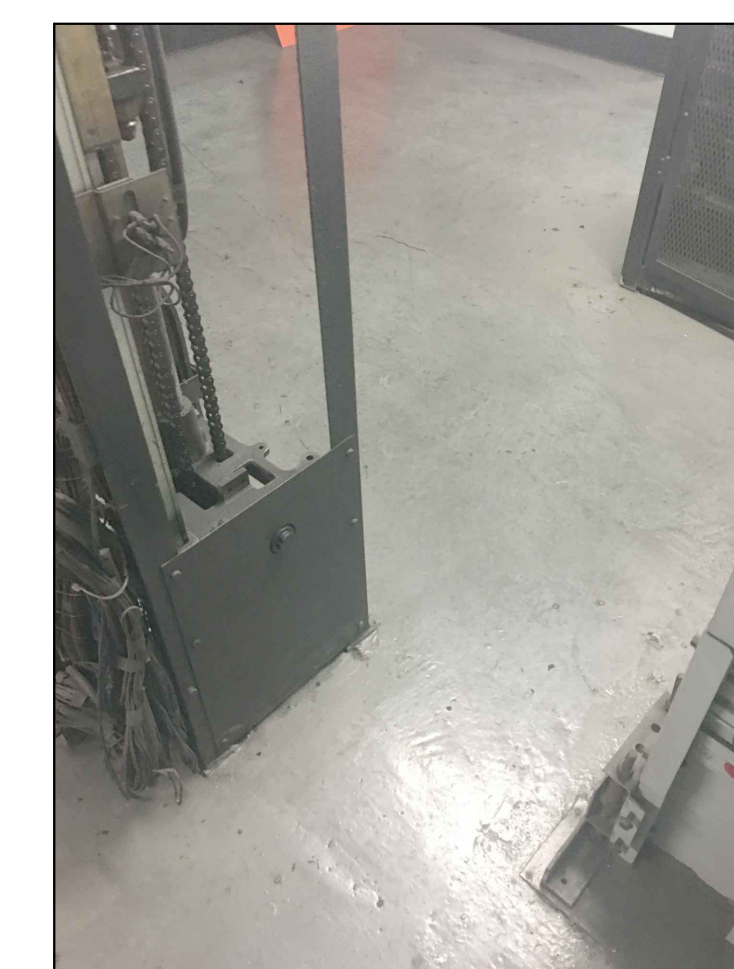
16) CONTROL RACK ELECTRICAL PANELS



17) FIRE ALARM NAC PANEL



18) ELEVATOR EQUIPMENT RM.



19) ELEVATOR EQUIPMENT (EXISTING FLOOR)



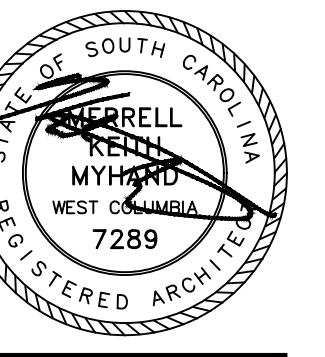
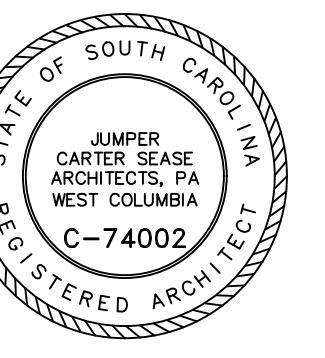
20) EXISTING EQUIP. ROOM LOUVER (EXTERIOR)

Jumper

Carter

Sease

Architects  
PA  
412 Meeting Street  
West Columbia  
South Carolina



CAPSTONE HOUSE ELEVATOR CONTROLS UPGRADE  
UNIVERSITY OF SOUTH CAROLINA  
COLUMBIA, SOUTH CAROLINA



REVISIONS:

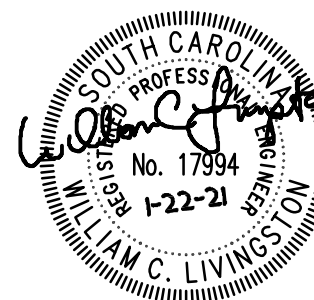
DRAWN BY: SL  
CHECKED BY: KM  
COMM NO: 20102  
DATE: JANUARY 22, 2021  
SHEET TITLE:

EXISTING  
CONDITIONS  
PROJECT  
PHOTOGRAPHS

SHEET NO:

A105

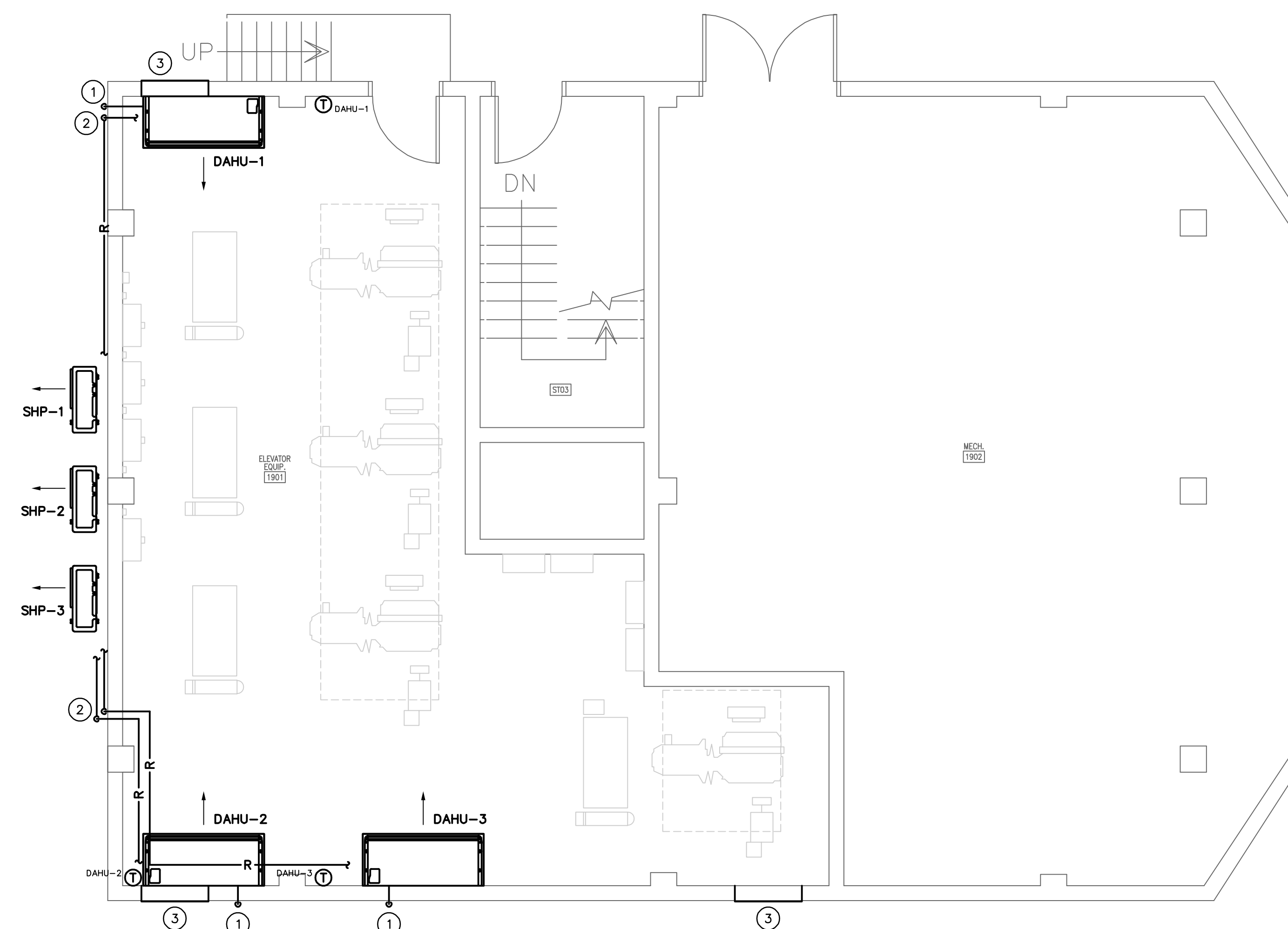











DRAWN BY: DEM  
CHECKED BY: WCL  
COMM NO: 20102  
DATE: JANUARY 22, 2021  
SHEET TITLE: FLOOR PLANS

# M101

NOTES TO SHEET	
①	DRIP CONDENSATE ON GRADE.
②	TUBING DROPS DOWN EXTERIOR WALL.
③	PATCH EXISTING WALL OPENING WITH ALUMINUM SHEET METAL AND SEAL WITH 2" POLY-ISO INSULATION. SEAL WEATHER TIGHT.



LEGEND	
SYMBOL	DESCRIPTION
 R 	REFRIGERANT LINES
 D 	DRAIN LINE
 	PIPE TURNS TO, AWAY
	THERMOSTAT



LIGHTING SYMBOLS	
	WALL OR CEILING MOUNTED FIXTURE, PROVIDE AS SCHEDULED.
	RECESSED FIXTURE, WIRE THRU GREENFIELD FROM OUTLET BOX ABOVE CEILING, PROVIDE AS SCHEDULED. "NL" DENOTES FIXTURE WIRED TO A SEPARATE 24/7 NIGHT LIGHT CIRCUIT.
	RECESSED FIXTURE, PROVIDE AS SCHEDULED.
	SURFACE MOUNTED FIXTURE, PROVIDE AS SCHEDULED.
	WALL MOUNTED FIXTURE, PROVIDE AS SCHEDULED.
	HALF-SHADED FIXTURE DENOTES EMERGENCY LIGHTING FIXTURE. PROVIDE EMERGENCY BALLASTS OR GENERATOR TRANSFER DEVICES WHERE SCHEDULED.
	WALL OR CEILING MOUNTED LED EXIT LIGHT, SHADED AREA DENOTES FACE.
	WALL OR CEILING MOUNTED LED EXIT LIGHT, SHADED AREA DENOTES FACE.
	SINGLE POLE SWITCH, 20A, 120/277V, 48" AFF TO TOP OF OUTLET BOX. SUBSCRIPT DENOTES OUTLETS CONTROLLED. "WP" DENOTES SWITCH WITH LOCKABLE SHALLOW IN-USE STYLE WEATHERPROOF COVER PLATE, SEE 260500.
	DUPLEX RECEPTACLE, 20A, 120V, NEMA 5/20R, 16" AFF TO BOTTOM OF OUTLET BOX. "TR" DENOTES TAMPER-RESISTANT RECEPTACLE, SEE 260500. "CR" DENOTES CORROSION-RESISTANT RECEPTACLE, SEE 260500. "WP" DENOTES WEATHER-RESISTANT RECEPTACLE [NEC, SECTION 406.9(A)] WITH EXTRA-DUTY RATED "IN-USE" WEATHERPROOF COVER PLATE, SEE 260500.
	SAME, EXCEPT MOUNTED 3" TO BOTTOM OF OUTLET FROM COUNTER BACKSPASH, OR 48" AFF TO TOP OF OUTLET, OR AS SEPARATE ON DRAWINGS. SEE ELEVATION THIS SHEET.
	SAME, EXCEPT SINGLE RECEPTACLE, MOUNT BEHIND EQUIPMENT AS DIRECTED ON JOB.
	QUADRUPLEX RECEPTACLE, (2) HUBBELL 5362 RECEPTACLES WITH 2-GANG COVERPLATE, 16" AFF. FOR STANDARD, 3" TO BOTTOM OF OUTLET FROM COUNTER BACKSPASH FOR "AC".
	GFCI RECEPTACLE, MOUNTING HEIGHTS AS ABOVE, "WP" DENOTES WEATHER-RESISTANT RECEPTACLE [NEC, SECTION 406.9(A)] WITH WEATHERPROOF COVER PLATE, SEE SPECIFICATIONS.
	REMOTE FACELESS GFCI TEST SWITCH, 48" AFF TO TOP OF BOX OR 3" TO BOTTOM OF BOX FROM COUNTER BACKSPASH. GROUP TEST SWITCH WITH GFCI RECEPTACLE WIRED TO A SEPARATE CIRCUIT. HUBBELL GFBF20-X-L OR EQUIVALENT, SEE DETAIL FOR MOUNTING AND CIRCUITING.
	WALL OR CEILING MOUNTED JUNCTION BOX.
	NON-FUSED SAFETY SWITCH, 3 POLE (AMPS/VOLTS/NF/ENCLOSURE), SEE NOTES ON DRAWINGS.
	SAME, EXCEPT FUSED SAFETY SWITCH (AMPS/VOLTS/FUSE/ENCLOSURE).
	EQUIPMENT ELECTRICAL CONNECTION. SEE EQUIPMENT POWER NOTES ON DRAWINGS.
	TELEPHONE BOARD.
	PANELBOARD.
	BRANCH CIRCUIT WIRING RUN CONCEALED IN WALLS OR CEILING, 1#12G, 2#12 UNLESS NOTED OTHERWISE. ARROW DENOTES HOME RUN AND NUMERAL DENOTES CIRCUIT NUMBER. WHERE MORE THAN TWO CONDUCTORS ARE REQUIRED, SLASH MARKS INDICATE NUMBER OF #12 CONDUCTORS: 1/2/3/4/5/6/7/8/9/10/11/12. SHORT SLASH DENOTES HOT OR SWITCH LEG, LONG SLASH DENOTES NEUTRAL, "L" DENOTES GROUNDING WIRE.
	MULTIWIRED BRANCH CIRCUITS USING A SHARED OR COMMON NEUTRAL ARE NOT PERMITTED ON THIS PROJECT. THE CONTRACTOR SHALL PULL A SEPARATE NEUTRAL FOR ALL 120V AND 277V CIRCUITS. CONDUIT HOMERUNS TO PANELBOARDS SHALL BE 3/4" MINIMUM, OTHERWISE RACEWAYS SHALL BE 1/2" MINIMUM, EXCEPT THAT FLEXIBLE CONDUIT SHALL BE 3/8" MINIMUM.
	SAME, EXCEPT RUN UNDERGROUND OR UNDERFLOOR.
	SAME, EXCEPT RUN EXPOSED.
	COMMUNICATIONS CONDUIT (OR CONDUIT & WIRING WHERE SPECIFIED), SIZE AS NOTED. CONDUIT TO BE EMT RUN OVERHEAD CONCEALED IN WALLS OR CEILING UNLESS NOTED OTHERWISE.
	COMMUNICATIONS OUTLET, 2 GANG BOX, 4" SQUARE, 2 1/8" DEEP, WITH 1 GANG PLASTER RING, MOUNTING HEIGHT AS DIRECTED IN FIELD. HOMERUN 1" EMPTY CONDUIT WITH PULL WIRE TO MDF/IDF ROOM ON MAIN LEVEL (FIELD VERIFY).
	EXISTING FIRE ALARM CONTROL PANEL.
	FIRE ALARM MANUAL PULL STATION. 48" AFF.
	FIRE ALARM HORN AND FLASHING LIGHT, CANELA RATING AS NOTED. MOUNT BETWEEN 80" AND 96" AFF PER NFPA 72 AND ADA REQTS.
	SMOKE OR HEAT DETECTOR, CEILING MOUNTED, UNLESS NOTED.
	EXISTING SMOKE DETECTOR.
	EXISTING HEAT DETECTOR.

SCOPE OF WORK	
THE WORK OF THIS SECTION SHALL PROVIDE COMPLETE ELECTRICAL SYSTEMS WHICH SHALL INCLUDE THE PROVIDING OF ALL CONDUCTORS, RACEWAYS, FITTINGS, CIRCUIT PROTECTIVE DEVICES, LIGHT FIXTURES, BOXES, SUPPORTS, AND ALL ASSOCIATED APPURTENANCES AND MISCELLANEOUS EQUIPMENT NECESSARY, ALL OF WHICH SHALL BE COMPLETELY CONNECTED, TESTED, ADJUSTED AND LEFT IN PROPER OPERATING CONDITION. THE ELECTRICAL SYSTEM TO BE PROVIDED SHALL INCLUDE SERVICE AND DISTRIBUTION FACILITIES POWER FOR MOTOR OPERATED EQUIPMENT, LIGHTING SYSTEMS, AND ALL OUTLETS AS COVERED HEREINAFTER.	
GENERAL NOTES:	
1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC), THE 2018 INTERNATIONAL BUILDING CODE (IBC), AND ANY LOCAL CODES, LAWS AND ORDINANCES WHICH MAY APPLY. WHERE DIFFERENCES EXIST BETWEEN THE CODES, THE STRICTER CODE SHALL APPLY.	
2. ALL CONDUITS SHALL CONTAIN A GROUNDING CONDUCTOR REGARDLESS OF USE.	
3. THE CONTRACTOR FOR THE WORK UNDER THIS SECTION SHALL PROCURE AND PAY FOR ALL PERMITS, FEES, AND LICENSES REQUIRED FOR THE EXECUTION OF THIS WORK. SATISFACTORY EVIDENCE OF COMPLIANCE WITH THE REQUIREMENT AND ALL CERTIFICATES OF INSPECTION SHALL BE DELIVERED TO THE OWNER PROMPTLY UPON REQUEST.	
4. TYPE MC CABLE MAY NOT BE USED ON THIS PROJECT.	
5. LOW VOLTAGE WIRING FOR OCCUPANCY SENSOR APPLICATIONS SHALL BE RUN IN METAL CONDUIT.	
6. UNLESS OTHERWISE NOTED FOR 120-VOLT, 20-AMP CKTS: #10 AWG SHALL BE USED FOR HOMERUNS LONGER THAN 75 FEET #12 AWG SHALL BE USED FOR HOMERUNS 75 FEET OR SHORTER	
7. MULTIWIRE BRANCH CIRCUITS USING A SHARED OR COMMON NEUTRAL ARE NOT PERMITTED ON THIS PROJECT. THE CONTRACTOR SHALL PULL A SEPARATE NEUTRAL FOR ALL 120V AND 277V CIRCUITS.	
8. MOUNT RECEPTACLES 16" AFF UNLESS OTHERWISE NOTED.	
9. ALL LIGHT SWITCHES AND RECEPTACLES SHALL BE BY THE SAME MANUFACTURER. COVER PLATES SHALL BE JUMBO STAINLESS STEEL DEVICE COLOR TO BE SELECTED BY THE ARCHITECT UNLESS STATED WITH THE DEVICE SYMBOL.	
10. ELECTRICAL METALLIC TUBING AND RIGID GALVANIZED STEEL CONDUIT SHALL BE THE ONLY TYPES OF CONDUIT INSTALLED WITHIN THE BUILDING. PVC IS PERMITTED UNDERGROUND.	
11. BRANCH CIRCUITS SHALL BE RUN CONCEALED WHERE PRACTICAL. BRANCH CIRCUITS RUN EXPOSED TO WEATHER ON EXTERIOR WALLS OR ON ROOFS SHALL BE RUN IN GRC OR IMC WITH SCORED FITTINGS. BRANCH CIRCUITS RUN CONCEALED IN WALLS OR CEILINGS SHALL BE RUN IN EMT, GRC, OR IMC. BRANCH CIRCUITS RUN EXPOSED IN DRY, FINISHED SPACES SHALL BE RUN IN WIREMOLD SURFACE METAL RACEWAY. BRANCH CIRCUITS RUN EXPOSED IN DAMP LOCATIONS, UNFINISHED SPACES (ATTICS), AND UNOCCUPIED SPACES (STORAGE ROOM, EQUIPMENT ROOMS, JANITOR'S CLOSET, ETC.) MAY BE RUN IN EMT IN LIEU OF WIREMOLD.	
12. CONDUIT HOMERUNS TO PANELBOARDS AND CONDUITS SHOWN WITH MULTIPLE CIRCUITS SHALL BE 3/4" MINIMUM, OTHERWISE RACEWAYS SHALL BE 1/2" MINIMUM, EXCEPT THAT FLEXIBLE CONDUIT SHALL BE 3/8" MINIMUM.	
13. INTERIOR CONDUIT HOMERUNS TO PANELBOARDS SHALL BE RUN OVERHEAD IN EMT, GRC, OR IMC UNLESS NOTED OTHERWISE ON THE DRAWINGS.	
14. FIRE ALARM SYSTEM CONDUITS AND COMMUNICATIONS SYSTEM CONDUITS TO BE EMT RUN OVERHEAD CONCEALED IN WALLS OR CEILING UNLESS NOTED OTHERWISE.	
15. ALL FIRE RATED WALLS, FLOORS, ETC WHICH HAVE A CONDUIT OR OTHER ELECTRICAL PENETRATION SHALL BE SEALED TO EQUAL THE RATING OF THE WALL, FLOOR, ETC. THAT IS PENETRATED. CONTRACTOR SHALL USE A U.L. RATED AND LISTED ASSEMBLY FOR THE SEALING MATERIAL AND METHOD. COORDINATE MANUFACTURER WITH THE GENERAL CONTRACTOR SO THAT ALL TRADES ON THE PROJECT USE THE SAME MANUFACTURER. THROUGH PENETRATIONS OF CONDUITS AND CABLES OF FIRE RESISTANCE RATED WALLS MUST COMPLY WITH SECTION 714.4.1.1 OF THE IBC. THROUGH PENETRATIONS OF FIRE RESISTANCE CEILING ASSEMBLIES MUST COMPLY WITH SECTION 714.4.1.1 OF THE IBC.	
16. ALL OUTLET BOXES 4"x4" OR SMALLER LOCATED ON OPPOSITE SIDES OF A RATED WALL SHALL HAVE A MINIMUM OF 24" HORIZONTAL SPACING OR SHALL BE PROTECTED WITH LISTED PUTTY PADS. ALL OUTLET BOXES LARGER THAN 4"x4" (COMMUNICATIONS OUTLETS, ETC) LOCATED IN RATED WALLS SHALL BE PROTECTED WITH LISTED PUTTY PADS.	
17. COMMUNICATIONS OUTLET BOXES TO BE 4"x4"x2 1/8" FOR CONDUIT SIZES 1" AND SMALLER, AND 4 1/2"x4 1/2"x2 1/8" FOR 1 1/2" CONDUIT.	
18. METALLIC WATER PIPING SHALL BE BONDED TO THE GROUNDING ELECTRODE SYSTEM (SEE NEC 250-104).	
19. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS, LOCATIONS, CABINETS, ETC.	
20. CONCEAL ALL CONDUIT AND FITTINGS EXCEPT WHERE THE ARCHITECT GRANTS SPECIFIC PERMISSION.	
21. ALL WORK AND MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE.	
22. PROVIDE ONE COMPLETE SET OF ELECTRICAL DRAWINGS MARKED UP FOR RECORD DRAWINGS. SHOW ALL LOCATIONS OF EQUIPMENT AND MATERIALS.	
23. INSTALL ALL MATERIALS PER MANUFACTURER'S INSTRUCTIONS.	
24. IDENTIFY MAJOR EQUIPMENT INSTALLED WITH LAMICOR LABELS (SEE SPECS). PROVIDE FLASH HAZARD SIGN AT ALL ELECTRICAL PANELS. PROVIDE A TYPED DIRECTORY IN ALL PANEL BOARDS CLEARLY DESCRIBING THE LOCATION OF AND TYPE OF LOAD BEING SERVED FOR ALL CIRCUITS.	
25. VISIT SITE TO DETERMINE EXISTING CONDITIONS PRIOR TO SUBMITTING BID.	
26. ALL RACEWAYS, FIXTURES, WIRING, DEVICES, AND EQUIPMENT RENDERED USELESS BY THIS WORK SHALL BE REMOVED AND DELIVERED TO THE OWNER'S STORAGE FACILITY AS DIRECTED. ANY MATERIAL NOT WANTED BY THE OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR.	
27. ELECTRICAL CONTRACTOR SHALL DO ALL CUTTING AND PATCHING AS REQUIRED TO INSTALL HIS WORK. FINISH PATCHING AND PAINTING WILL BE DONE BY THE GENERAL CONTRACTOR.	
28. PRIOR TO DIGGING ANY TRENCHES, NOTIFY ALL UTILITIES AND OBTAIN LOCATIONS OF UNDERGROUND UTILITIES. ANY DAMAGES DONE TO UNDERGROUND UTILITIES OR PIPING BY THIS CONTRACTOR WILL BE REPAIRED BY THE OWNER OF THE LINE IN A SATISFACTORY MANNER. THIS CONTRACTOR WILL BEAR ALL COSTS FOR REPAIRS.	
29. CONDUITS TO BE RUN UNDER WALKWAYS AND PAVINGS SHALL BE INSTALLED BY JACKING OR BORING, UNLESS NOTED. DO NOT CUT WALKWAYS OR PAVEMENTS, UNLESS ACCEPTABLE TO THE ENGINEER. ALLOWED CUTS IN PAVEMENT OR CONCRETE SHALL BE MADE USING A PAVEMENT SAW, AND SHALL BE PATCHED TO MATCH THE EXISTING SURFACE.	
30. WHERE DISAGREEMENTS EXIST ON THE DESIGN DOCUMENTS, THE ITEM OR ARRANGEMENTS OF BETTER QUALITY, GREATER QUANTITY, OR HIGHER COST SHALL BE INCLUDED IN THE BASE BID. ANY DISCREPANCIES BETWEEN THE DRAWINGS, SPECIFICATIONS, AND FIELD CONDITIONS SHALL BE RESOLVED WITH THE ENGINEER PRIOR TO COMMENCING WORK. ALL AGREEMENTS SHALL BE VERIFIED IN WRITING.	
31. ALL WORK UNDER THIS SECTION SHALL BE COORDINATED WITH OTHER TRADES TO INSURE PROPER LOCATION OF OUTLETS AND EQUIPMENT CONNECTIONS, AND TO MINIMIZE CONFLICTS WITH STRUCTURAL MEMBERS, DUCT WORK, PIPING, ETC. CONFLICTS BETWEEN EQUIPMENT AND/OR MATERIAL LOCATIONS SHALL BE CORRECTED AS DIRECTED BY THE ARCHITECT-ENGINEER AT NO ADDITIONAL COST TO THE OWNER.	

LIGHTING FIXTURE SCHEDULE						
TYPE	SYMBOL	LAMP	DESCRIPTION	MODEL	WATTS	VOLTS
F60		(1) LED	4-FOOT NARROW LENSED SURFACE LED FIXTURE WITH THE FOLLOWING MINIMUM CRITERIA: 6000 LUMEN OUTPUT, 140LPW, 80CRI, 4000K.	WILLIAMS 75R-4-L65/840-DRV-UNV OR EQUIVALENT OF LITHONIA ZL1D SERIES, DAYBRITE FLUXSTREAM SERIES, OR METALUX SNLED SERIES	42	MULTIPLE
F60ELC		(1) LED	SAME AS TYPE F60 EXCEPT FIXTURE TO BE WIRED VIA A UL924 EMERGENCY LIGHTING CONTROL DEVICE, SEE ELC NOTES.	ADJUST CATALOG NUMBERS TO ADD EMERGENCY LIGHTING CONTROL DEVICE.	42	MULTIPLE
H40		(1) LED	4-FOOT HIGH ABUSE LED FIXTURE WITH FIBERGLASS HOUSING, HIGH-IMPACT ACRYLIC LENS WITH LINEAL RIBS, CLOSED-CELL GASKETING, WET LOCATION LISTING, ELECTRONIC LED DRIVER, STAINLESS STEEL LATCHES, AND THE FOLLOWING MINIMUM CRITERIA: 4000 LUMEN OUTPUT, 80LPW, 80CRI, 4000K, 81% LUMEN MAINTENANCE AT 50,000 HOURS.	WILLIAMS 96-4-L40/840-HIAFR-DRV-UNV-WET2-SSLATCH NEWSTAR NSUN4-L2-40-1-EX-UN-D2-SL METALUX 4VT2-LD4-4-DR-W-UNV-L840-CD1-WL-TH-SSL	40	MULTIPLE
W16PE		(1) LED	FULL CUTOFF WALL MOUNTED LED FIXTURE WITH ALUMINUM HOUSING, INTEGRAL SURGE PROTECTION, IP65 RATING, INTEGRAL PHOTOCELL, AND THE FOLLOWING MINIMUM CRITERIA: 1600 LUMEN OUTPUT, 100LPW, 80CRI, 4000K.	WILLIAMS WMWV-L17/840-TL-DB2-CGL-SP10-DM-UNV-PC(120) OR ACCEPTABLE EQUIVALENT OF LITHONIA WGE1 SERIES OR TRACELITE WLZ1 SERIES	16	MULTIPLE
XVR		(1) LED	FLAT WALL MOUNT VANDAL RESISTANT EXIT LIGHT WITH EVEN ILLUMINATION RED DIFFUSER, RUGGED PVC HOUSING, SEALED POLYCARBONATE COVER, WET LOCATION LISTING, AC ONLY.	EMERGLITE WW-SVX-1-R-4X, SURELITE UX6-0-R-WH, LITHONIA LV-S-W-1-R-120/277, OR EQUIVALENT OF EXITRONIX, CHLORIDE, LIGHTALARMS, OR DUALITE	2	MULTIPLE

ELECTRICAL SUBMITTALS	
ELECTRICAL SHOP DRAWINGS SHALL BE SUBMITTED IN ONE COMPLETE PACKAGE CONTAINING ALL ITEMS REQUIRED BY THE ELECTRICAL DRAWINGS AND THE DIVISION 26-28 SPECIFICATIONS. PARTIAL SHOP DRAWING SUBMITTALS MAY BE REJECTED BY THE ARCHITECT-ENGINEER. REFER TO SECTION 260510 OF THE ELECTRICAL SPECIFICATIONS FOR REQUIRED SUBMITTAL FORMAT AND FOR ADDITIONAL REQUIREMENTS.	

ALTERNATES	
ALTERNATES: REFER TO SECTION 012300 - ALTERNATES FOR ALTERNATE DESCRIPTIONS: REFER TO SECTION 260500 FOR BRIEF DESCRIPTIONS OF ALTERNATES WITH ELECTRICAL RAMIFICATIONS. WHERE CONFLICTS EXIST, SECTION 012300 SHALL SUPERSEDE THE DESCRIPTIONS.	

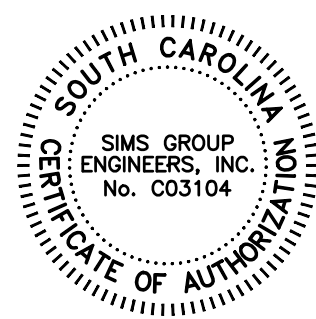
ABBREVIATIONS			
A	AMPERES	LTG	LIGHTING
AFF	ABOVE FINISHED FLOOR	MFR	MANUFACTURER
AFG	ABOVE FINISHED GRADE	MLO	MAIN LUGS ONLY
AWG	AMERICAN WIRE GAUGE	NEC	NATIONAL ELECTRICAL CODE
AHJ	AUTHORITY HAVING JURISDICTION	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
CKT	CIRCUIT	NIC	NOT IN CONTRACT
CU	COPPER	PH,Ø	PHASE
EC	EMPTY CONDUIT	RCPT	RECEPTACLE
EQPT	EQUIPMENT	RE:	REFER TO
EXST	EXISTING	TYP	TYPICAL
FWE	FURNISHED WITH EQUIPMENT	UNO	UNLESS NOTED OTHERWISE
GFI	GROUND FAULT INTERRUPTER	V	VOLTS
IAW	IN ACCORDANCE WITH	W	WIRE OR WATTS
KVA	KILOVOLTAMPERES	WP	WEATHERPROOF
KW	KILOWATTS		

ELECTRICAL DEMOLITION NOTES	
A. IT IS THE GENERAL INTENTION OF THESE DRAWINGS TO COVER ALL SITUATIONS WHERE AN ITEM IS TO BE REMOVED, WHETHER IT HAPPENS TO BE A LIGHT FIXTURE, DUPLEX RECEPTACLE, LIGHT SWITCH, FIRE ALARM DEVICE, OR OTHER ELECTRICAL ITEM. THE ELECTRICAL CONTRACTOR SHALL ASSIST THE MECHANICAL AND GENERAL CONTRACTORS IN REMOVAL OF EQUIPMENT WITH ELECTRICAL CONNECTIONS BEING REMOVED BY THESE CONTRACTORS.	
B. PRIOR TO SUBMITTING BID, THE CONTRACTOR SHALL SURVEY THE EXISTING BUILDING AND MAKE NOTE OF ANY ADDITIONAL DEMOLITION AND/OR ANY ADDITIONAL REMOVAL AND RELOCATION WHICH MAY BE REQ'D IN ORDER TO ACCOMPLISH RENOVATIONS INDICATED IN CONTRACT DOCUMENTS. NO CHANGE ORDER WILL BE ISSUED FOR ADDITIONAL WORK REQUIRED FOR DEMOLITION, REMOVAL, OR RELOCATION WORK NOT INDICATED ON THESE DRAWINGS BUT NECESSARY TO COMPLETE WORK.	
C. IN ALL AREAS WHERE EXISTING WALLS ARE BEING REMOVED, NEW WALLS ARE BEING ADDED, AND WHERE OTHER DEMOLITION WORK IS OCCURRING, REMOVE ALL EXISTING RECEPTACLES, LIGHTS, AND OTHER ELECTRICAL DEVICES, AND ALL WIRING AND CONDUIT NOT BEING REUSED. EXISTING CONDUIT RUN CONCEALED IN EXISTING WALLS NOT BEING REMOVED AND/OR REPLACED MAY BE ABANDONED. ALL DEMOLITION MUST BE COORDINATED WITH THE ARCHITECT AND WITH ALL OTHER TRADES TO AVOID CONFLICTS. REFER TO THE ARCHITECTURAL DEMOLITION PLAN.	
D. NO EXISTING ELECTRICAL MATERIALS, EQUIPMENT, WIRING, OR CONDUIT BEING REMOVED MAY BE REUSED ON THIS PROJECT UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE DRAWINGS. ALL EXISTING ELECTRICAL MATERIALS AND EQUIPMENT NOT BEING REUSED SHALL BE DISPOSED OF AS INDICATED IN GENERAL NOTES.	
E. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DEMOTITION PLANS AND NOTES AND REMOVE OR RELOCATE EQUIPMENT AS NOTED.	
F. THE CONTRACTOR SHALL COORDINATE THE INTERRUPTION OF POWER TO THE ELEVATORS AND RADIO EQUIPMENT WITH THE OWNER. STAGING AND SCHEDULING OF THE TRANSFER AND RECONNECTION OF ELEVATOR AND RADIO EQUIPMENT CIRCUITING TO NEW PANELS SHALL BE DIRECTED AND APPROVED BY THE OWNER.	

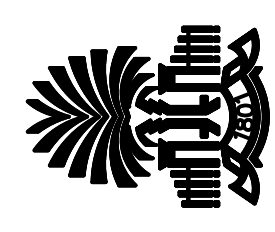
HVAC POWER PLAN NOTES. (NOTES APPLY TO ALL HVAC POWER PLANS):	
DENOTES EQUIPMENT ELECTRICAL CONNECTION. ID TAG CORRESPONDS TO UNIT ID ON MECHANICAL DRAWINGS. TAG SHOWN IS FOR HVAC UNIT CU-2. CU = CONDENSING UNIT, 2 = UNIT NUMBER. REFER TO DRAWINGS AND/OR EQUIPMENT SCHEDULE FOR CONDUIT, WIRING, & DISCONNECT TYPES/SIZES. LOCATE DISCONNECTS ADJACENT TO EQUIPMENT IN A "READILY ACCESSIBLE" LOCATION, FIELD VERIFY. WHERE FUSED DISCONNECTS ARE INDICATED, FUSE PER THE MANUFACTURER'S LISTED MCA.	
COORDINATE VOLTAGES WITH MECHANICAL CONTRACTOR PRIOR TO START OF WORK. IF EQUIPMENT IS SUPPLIED AT A VOLTAGE OTHER THAN THAT PROVIDED, THE GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE HELD RESPONSIBLE FOR MAKING ANY NECESSARY ADJUSTMENTS TO CORRECT THE CONFLICT, AT NO COST TO THE OWNER, TO THE SATISFACTION OF THE ELECTRICAL ENGINEER. REFER TO MECHANICAL DRAWINGS FOR EQUIPMENT LOCATIONS, SUBJECT TO FIELD VERIFICATION.	
INFORMATION SHOWN IN SCHEDULE WAS TAKEN FROM DRAWINGS FURNISHED BY THE MECHANICAL ENGINEER. PRIOR TO STARTING WORK AND BEFORE ORDERING ANY EQUIPMENT, THE ELECTRICAL CONTRACTOR SHALL REVIEW THE HVAC SHOP DRAWINGS AND SHALL VERIFY ALL EQUIPMENT FOR CONFORMANCE WITH THE INFORMATION SHOWN IN THE SCHEDULE (VOLTAGE, MCA, MSCP), AND SHALL NOTIFY THE ENGINEER AND THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE MECHANICAL SHOP DRAWINGS AND THIS SCHEDULE.	
ALL MOTOR STARTERS AND VARIABLE FREQUENCY DRIVES (VFDs) FOR HVAC-RELATED EQUIPMENT THAT ARE NOT FACTORY-MOUNTED AND PREWIRED SHALL BE FURNISHED BY THE MECHANICAL CONTRACTOR, INSTALLED AND POWER WIRED BY THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE ON THE DESIGN DOCUMENTS. REFER TO MECHANICAL DRAWINGS FOR LOCATIONS AND QUANTITIES OF MOTOR STARTERS AND VFDs.	
USE HACR TYPE CIRCUIT BREAKERS FOR ALL HVAC UNITS.	
1. WHERE EQUIPMENT IS SUPPLIED WITH CORD & PLUG, PROVIDE RECEPTACLE TO MATCH PLUG IN LIEU OF DISCONNECT. ELIMINATE DISCONNECT IF UNIT SUPPLIED WITH BUILT-IN DISCONNECT, VERIFY VOLTAGE.	
2. WHERE LINE VOLTAGE THERMOSTAT INDICATED ON MECHANICAL DRAWINGS, WIRE FAN THRU THERMOSTAT, FURNISHED BY MECHANICAL CONTRACTOR, INSTALLED & POWER WIRED BY ELECTRICAL CONTRACTOR.	
3. WHERE LINE VOLTAGE FAN SWITCH INDICATED ON MECHANICAL DRAWINGS, WIRE THRU FAN SWITCH OR TIMER SWITCH FURNISHED BY MECHANICAL CONTRACTOR, INSTALLED AND POWER WIRED BY ELECTRICAL CONTRACTOR.	
4. WHERE FAN CONTROL BY ROOM LIGHTING IS INDICATED ON MECHANICAL DRAWINGS, WIRE TO ROOM LIGHTING CIRCUIT SO FAN IS CONTROLLED WITH LIGHTS (120V LIGHTS) OR WIRE VIA OCCUPANCY SENSOR SATELLITE RELAY SO FAN IS CONTROLLED WITH LIGHTS (277V LIGHTS).	
5. WHERE FAN CONTROL BY BMS IS INDICATED ON MECHANICAL DRAWINGS, WIRE VIA BUILDING MANAGEMENT SYSTEM (BMS) RELAY FURNISHED BY HVAC CONTROLS CONTRACTOR, COORDINATE IN FIELD WITH MECHANICAL CONTRACTOR.	
6. DENOTES INDOOR UNIT (AH OR AHD) WIRED FROM OUTDOOR UNIT (HP OR CU) BY ELECTRICAL CONTRACTOR. WIRING INDICATED IS FOR BIDDING PURPOSES ONLY AND MAY VARY BETWEEN MANUFACTURERS. VERIFY ACTUAL WIRING REQUIREMENTS WITH EQUIPMENT PROVIDED AND INSTALL ACCORDINGLY.	
7. PROVIDE SEPARATE 120V CIRCUIT FOR CONDENSATE PUMP ON ALL AHD UNITS AND OTHER NOTED UNITS.	

ELECTRICAL SHEET LIST	
E001	- ELECTRICAL SYMBOLS & NOTES
E101	- ELECTRICAL PLANS
E601	- ELECTRICAL DETAILS

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CAPSTONE HOUSE ELEVATOR CONTROLS UPGRADE
UNIVERSITY OF SOUTH CAROLINA
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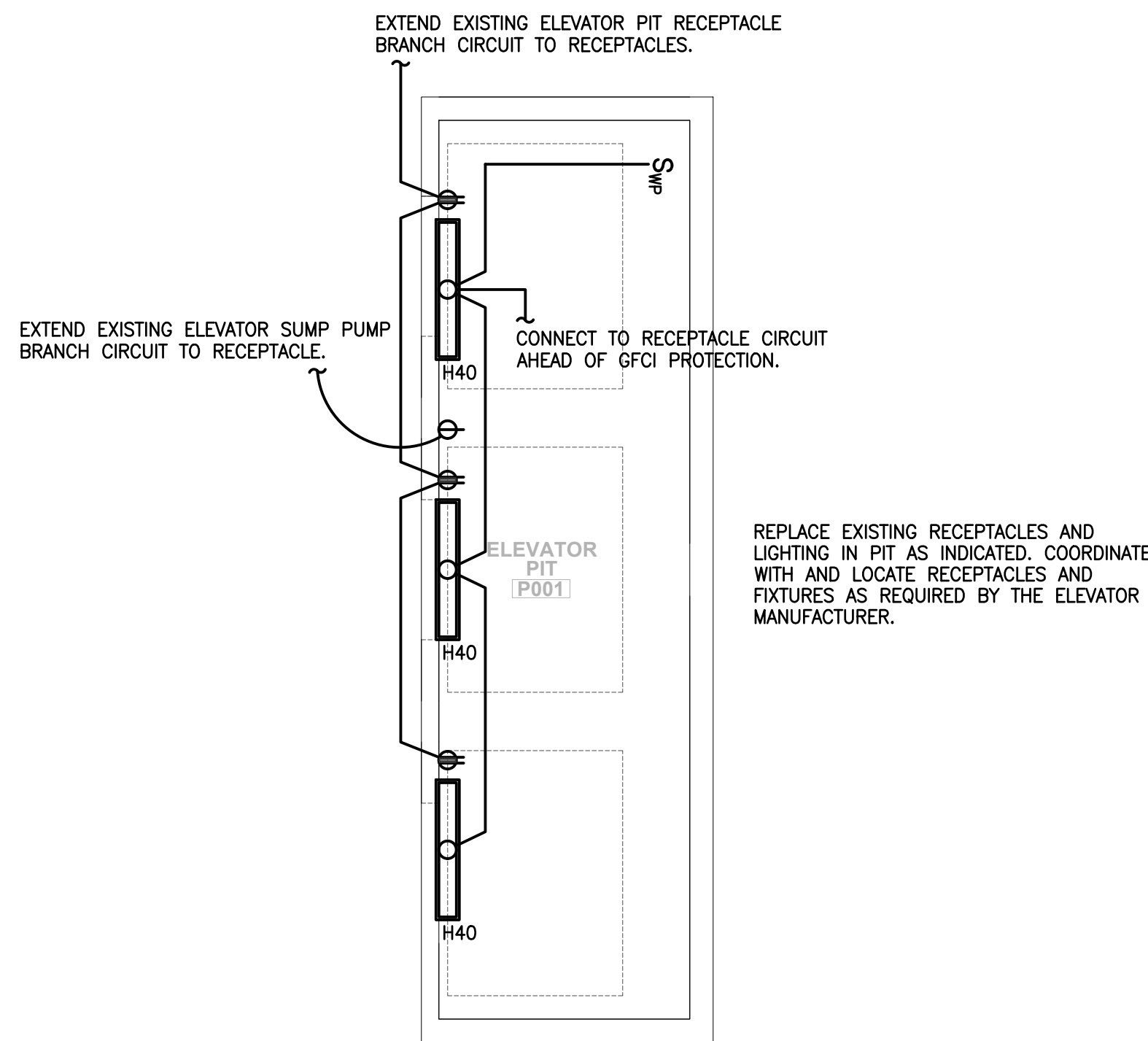
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COMM NO:	20102
DATE:	JANUARY 22, 2021
SHEET TITLE:	ELECTRICAL SYMBOLS AND DETAILS

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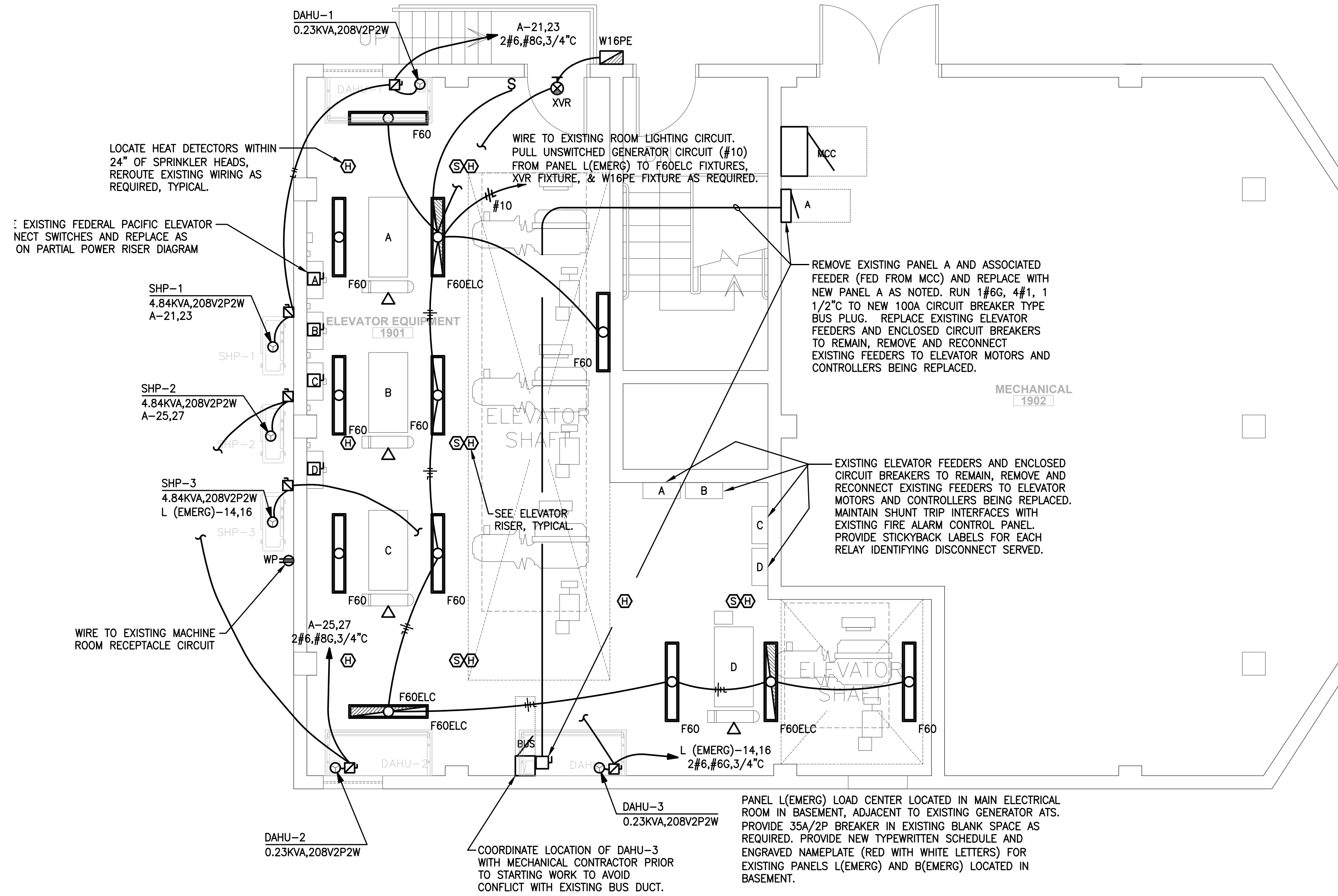
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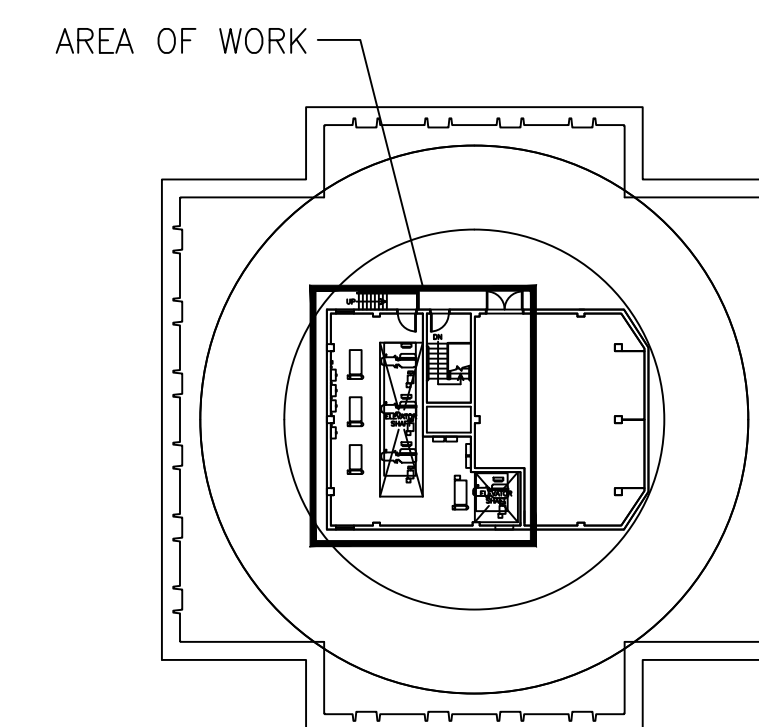




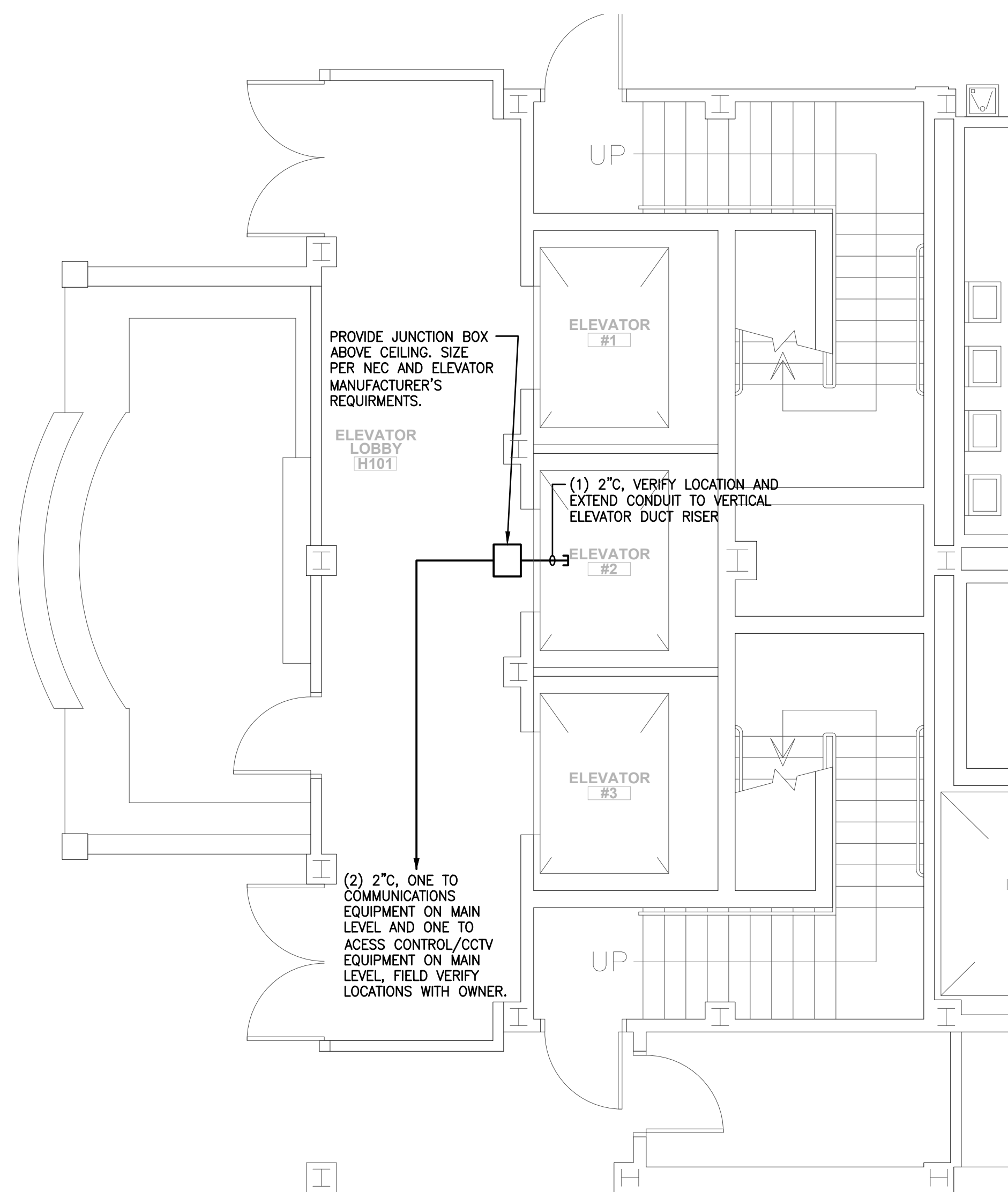
1 ELEVATOR PIT PLAN  
SCALE: 1/4"=1'-0"



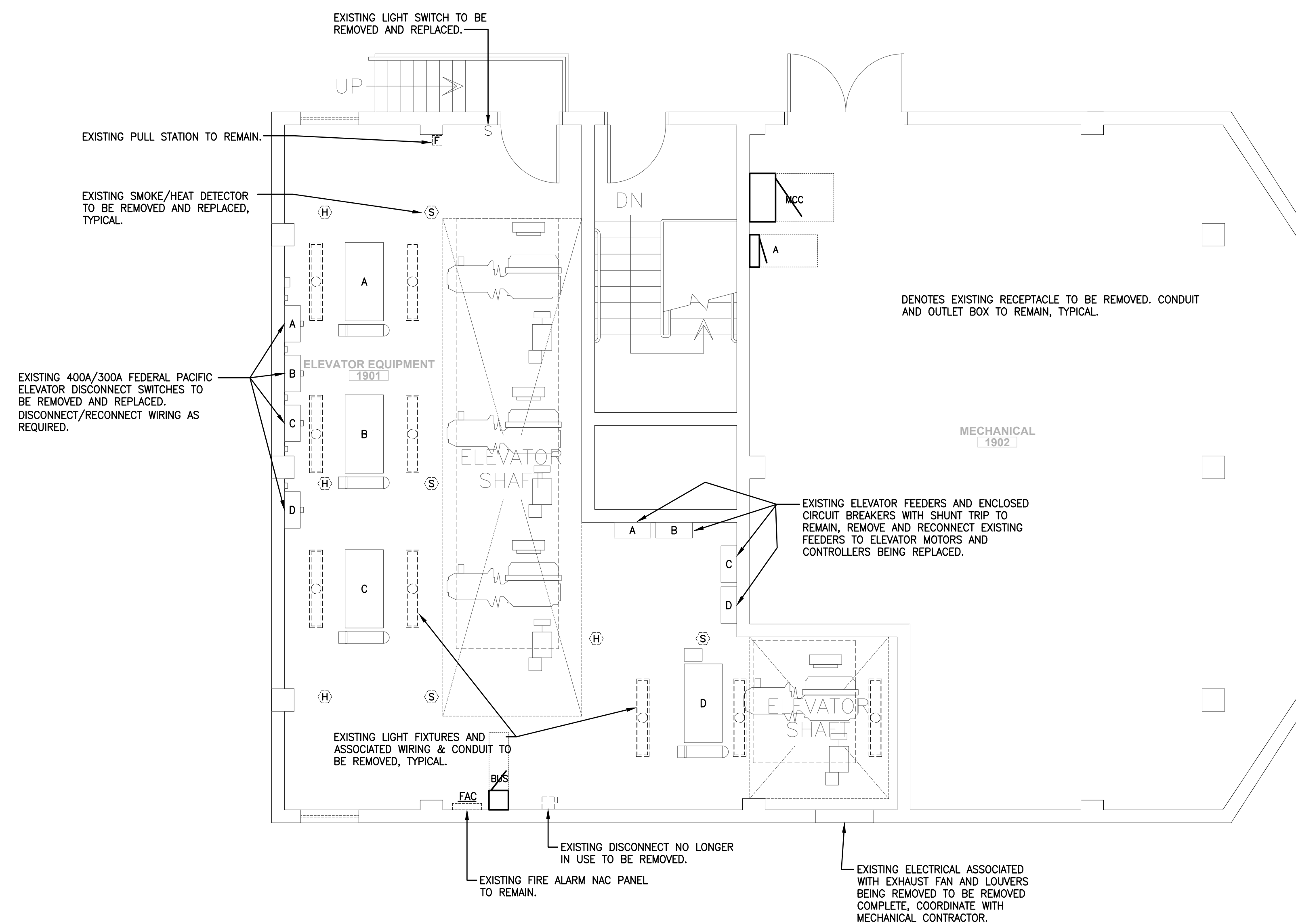
2 MECHANICAL ROOM DEMOLITION PLAN  
SCALE: 1/4"=1'-0"



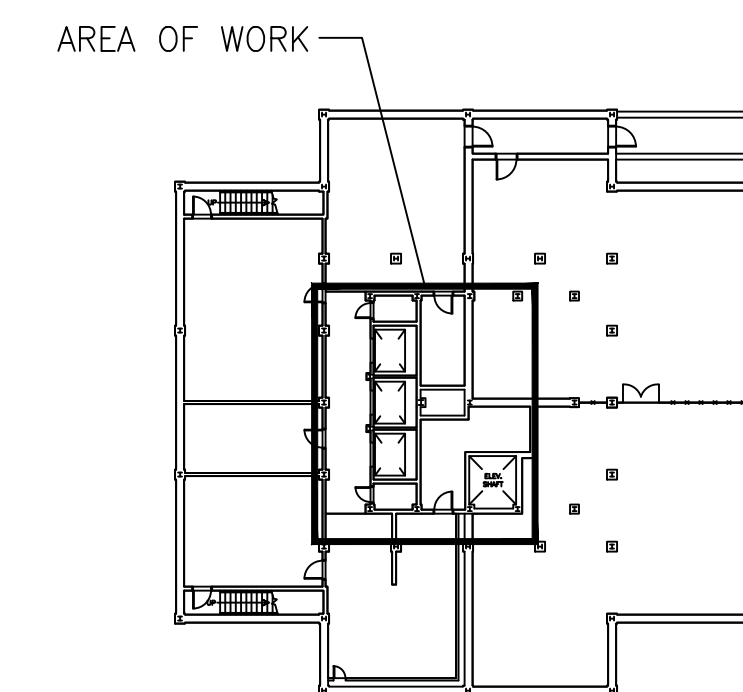
19TH FLOOR MECHANICAL ROOM KEYPLAN



4 FIRST FLOOR UPGRADES PLAN  
SCALE: 1/4"=1'-0"



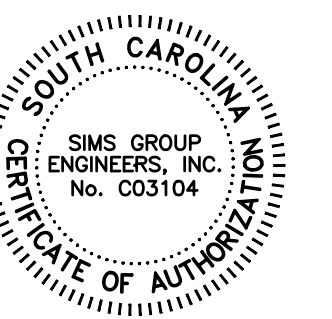
3 MECHANICAL ROOM UPGRADES PLAN  
SCALE: 1/4"=1'-0"



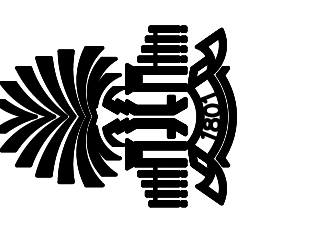
BASEMENT KEYPLAN

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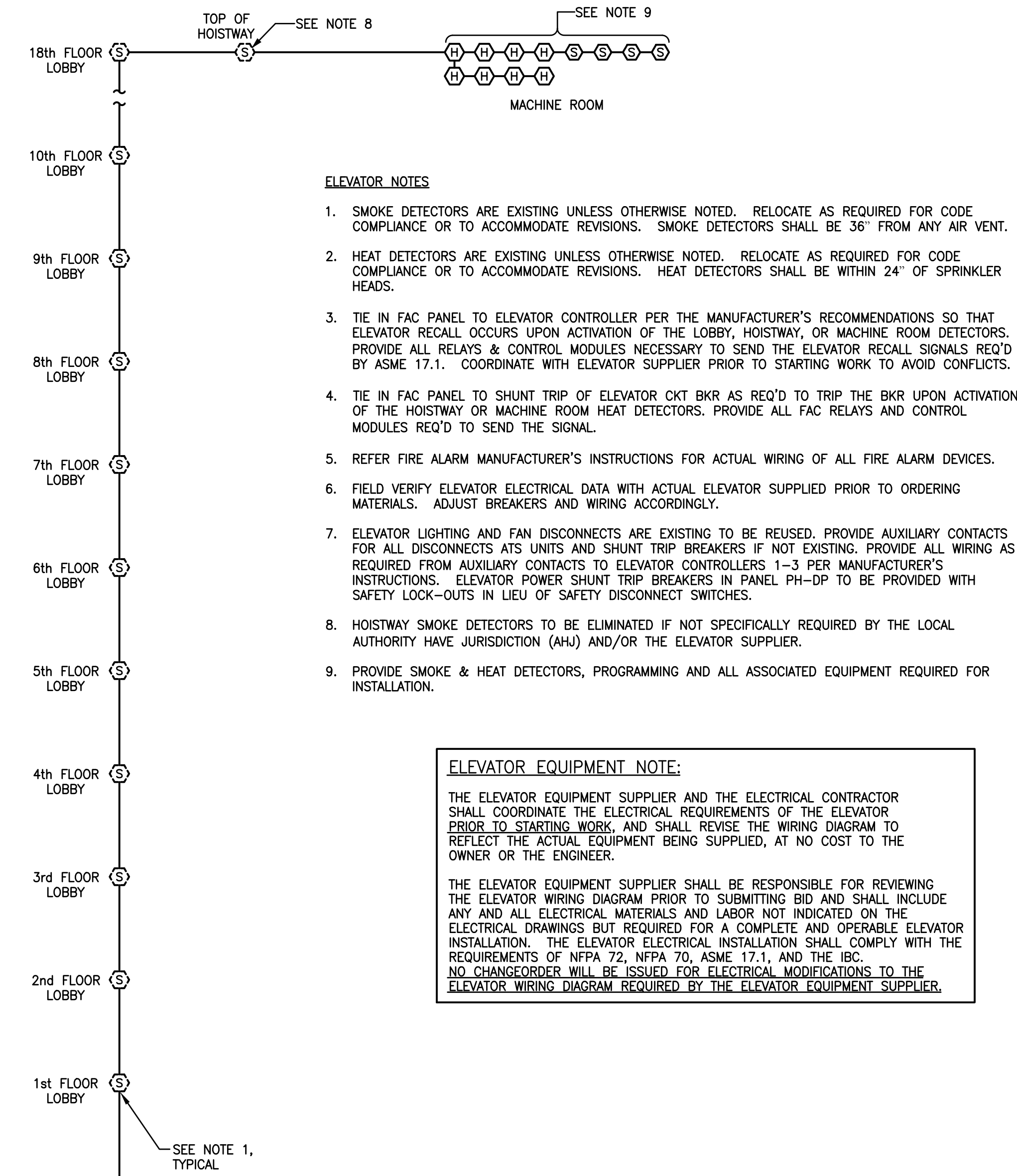
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E101





#### ELEVATOR NOTES

1. SMOKE DETECTORS ARE EXISTING UNLESS OTHERWISE NOTED. RELOCATE AS REQUIRED FOR CODE COMPLIANCE OR TO ACCOMMODATE REVISIONS. SMOKE DETECTORS SHALL BE 36" FROM ANY AIR VENT.
2. HEAT DETECTORS ARE EXISTING UNLESS OTHERWISE NOTED. RELOCATE AS REQUIRED FOR CODE COMPLIANCE OR TO ACCOMMODATE REVISIONS. HEAT DETECTORS SHALL BE WITHIN 24" OF SPRINKLER HEADS.
3. TIE IN FAC PANEL TO ELEVATOR CONTROLLER PER THE MANUFACTURER'S RECOMMENDATIONS SO THAT ELEVATOR RECALL OCCURS UPON ACTIVATION OF THE LOBBY, HOISTWAY, OR MACHINE ROOM DETECTORS. PROVIDE ALL RELAYS & CONTROL MODULES NECESSARY TO SEND THE ELEVATOR RECALL SIGNALS REQ'D BY ASME 17.1. COORDINATE WITH ELEVATOR SUPPLIER PRIOR TO STARTING WORK TO AVOID CONFLICTS.
4. TIE IN FAC PANEL TO SHUNT TRIP OF ELEVATOR OKT BKR AS REQ'D TO TRIP THE BKR UPON ACTIVATION OF THE HOISTWAY OR MACHINE ROOM HEAT DETECTORS. PROVIDE ALL FAC RELAYS AND CONTROL MODULES REQ'D TO SEND THE SIGNAL.
5. REFER FIRE ALARM MANUFACTURER'S INSTRUCTIONS FOR ACTUAL WIRING OF ALL FIRE ALARM DEVICES.
6. FIELD VERIFY ELEVATOR ELECTRICAL DATA WITH ACTUAL ELEVATOR SUPPLIED PRIOR TO ORDERING MATERIALS. ADJUST BREAKERS AND WIRING ACCORDINGLY.
7. ELEVATOR LIGHTING AND FAN DISCONNECTS ARE EXISTING TO BE REUSED. PROVIDE AUXILIARY CONTACTS FOR ALL DISCONNECTS AT ITS UNITS AND SHUNT TRIP BREAKERS IF NOT EXISTING. PROVIDE ALL WIRING AS REQUIRED FROM AUXILIARY CONTACTS TO ELEVATOR CONTROLLERS 1-3 PER MANUFACTURER'S INSTRUCTIONS. ELEVATOR POWER SHUNT TRIP BREAKERS IN PANEL PH-DP TO BE PROVIDED WITH SAFETY LOCK-OUTS IN LIEU OF SAFETY DISCONNECT SWITCHES.
8. HOISTWAY SMOKE DETECTORS TO BE ELIMINATED IF NOT SPECIFICALLY REQUIRED BY THE LOCAL AUTHORITY HAVE JURISDICTION (AHJ) AND/OR THE ELEVATOR SUPPLIER.
9. PROVIDE SMOKE & HEAT DETECTORS, PROGRAMMING AND ALL ASSOCIATED EQUIPMENT REQUIRED FOR INSTALLATION.

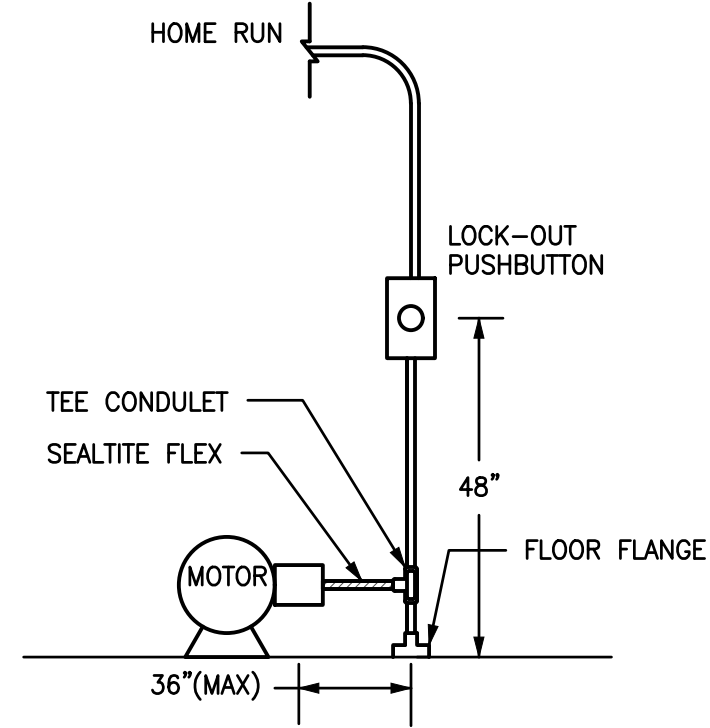
#### ELEVATOR EQUIPMENT NOTE:

THE ELEVATOR EQUIPMENT SUPPLIER AND THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE ELECTRICAL REQUIREMENTS OF THE ELEVATOR PRIOR TO STARTING WORK, AND SHALL REVISE THE WIRING DIAGRAM TO REFLECT THE ACTUAL EQUIPMENT BEING SUPPLIED, AT NO COST TO THE OWNER OR THE ENGINEER.

THE ELEVATOR EQUIPMENT SUPPLIER SHALL BE RESPONSIBLE FOR REVIEWING THE ELEVATOR WIRING DIAGRAM PRIOR TO SUBMITTING BID AND SHALL INCLUDE ANY AND ALL ELECTRICAL MATERIALS AND LABOR NOT INDICATED ON THE ELECTRICAL DRAWINGS BUT REQUIRED FOR A COMPLETE AND OPERABLE ELEVATOR INSTALLATION. THE ELEVATOR ELECTRICAL INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 72, NFPA 70, ASME 17.1, AND THE IBC. NO CHANGEORDER WILL BE ISSUED FOR ELECTRICAL MODIFICATIONS TO THE ELEVATOR WIRING DIAGRAM REQUIRED BY THE ELEVATOR EQUIPMENT SUPPLIER.

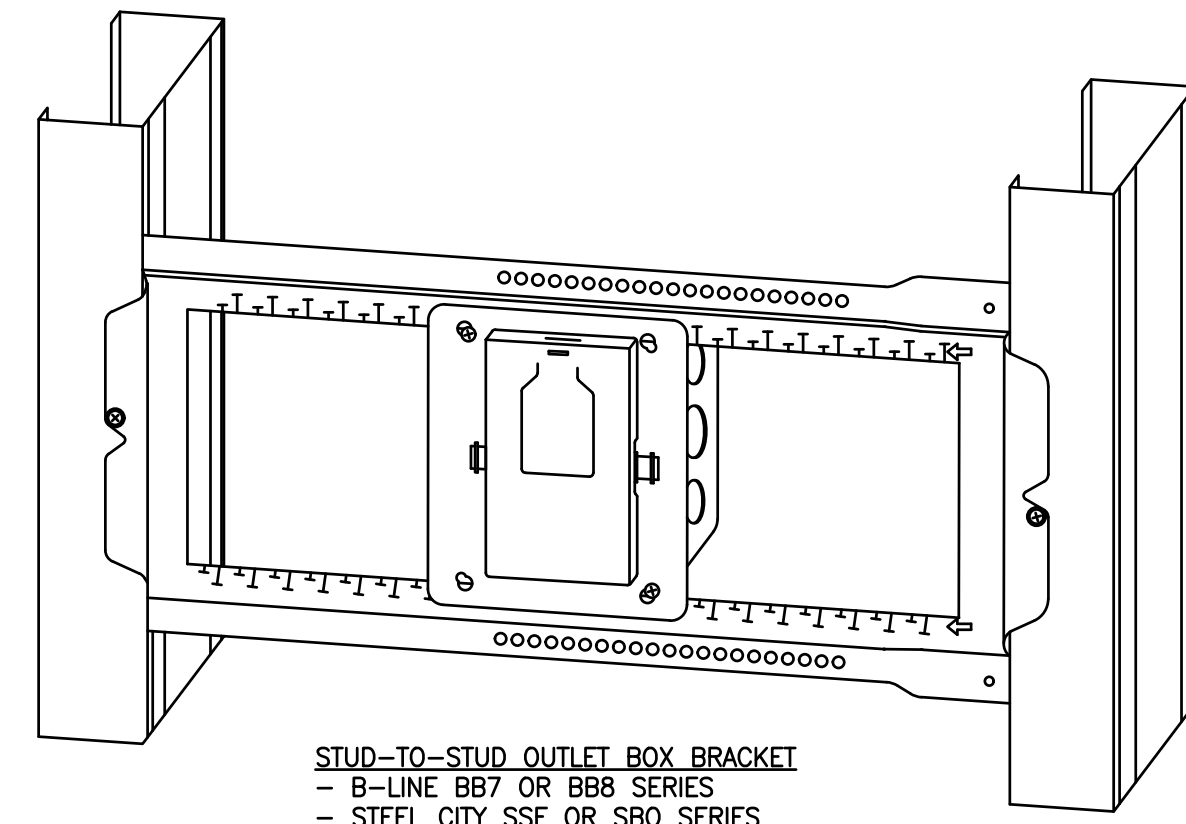
#### 1 ELEVATOR RISER DIAGRAM

NOT TO SCALE



#### 3 MOTOR WIRING DETAIL

NOT TO SCALE

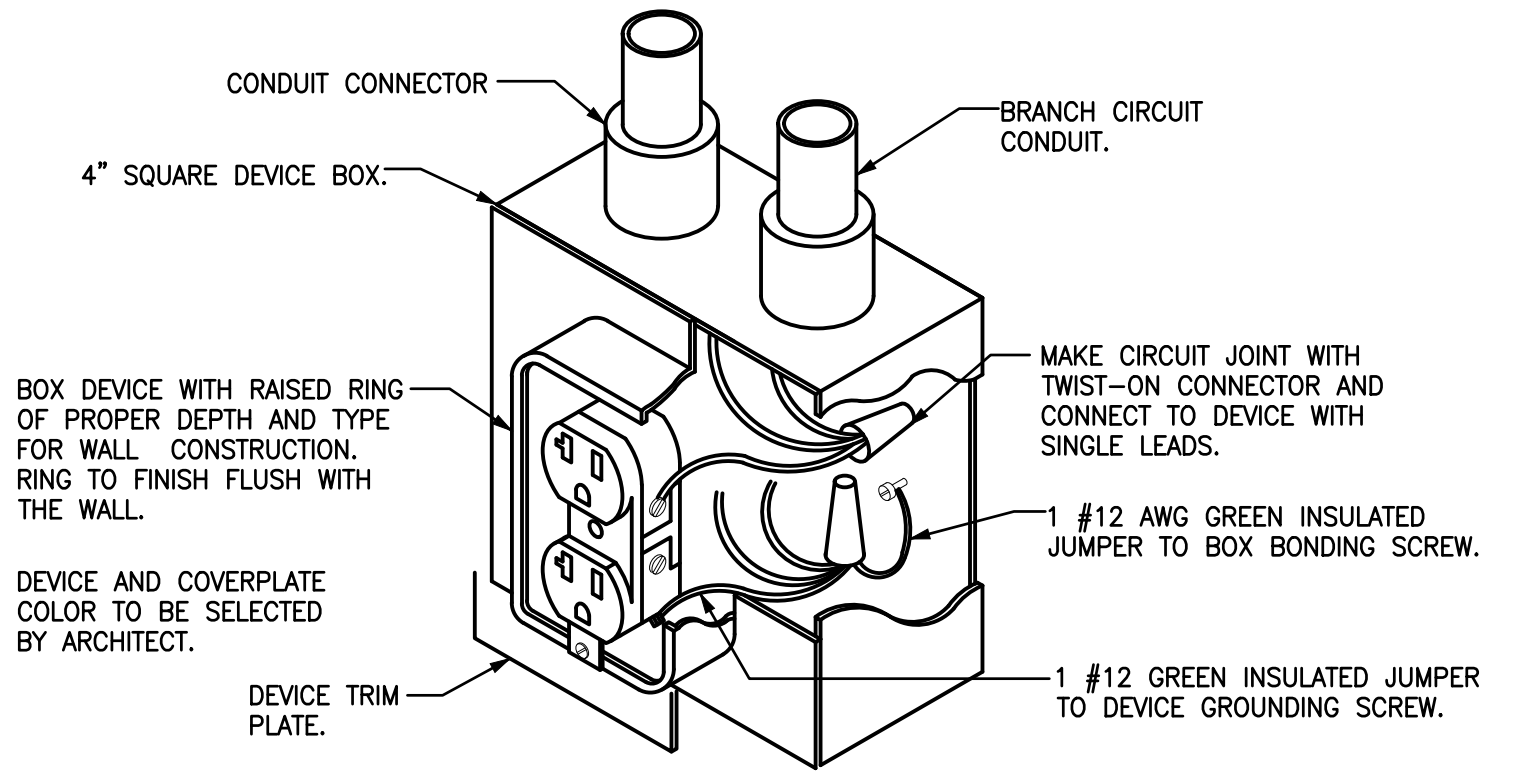


#### 4 TYPICAL DUPLEX RECEPTACLE INSTALLATION

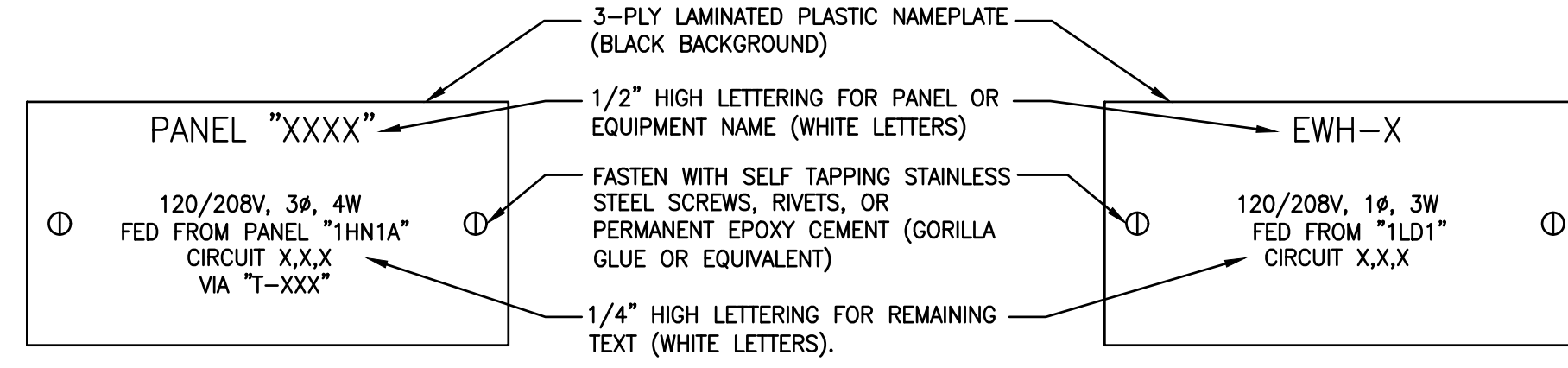
NOT TO SCALE

RECESSED BOXES IN MASONRY WALLS: SAW-CUT OPENING FOR BOX IN CENTER OF CELL OF MASONRY BLOCK, AND INSTALL BOX FLUSH WITH SURFACE OF WALL.

RECESSED BOXES IN STUD WALLS: SUPPORT BOXES FROM MORE THAN ONE SIDE BY SPANNING TWO FRAMING MEMBERS OR MOUNTING ON BRACKETS SPECIFICALLY DESIGNED FOR THE PURPOSE. BOX BRACKETS RELIANT ON SUPPORT LESS PRESSED AGAINST BACK OF OPPOSING WALL ARE NOT ACCEPTABLE.

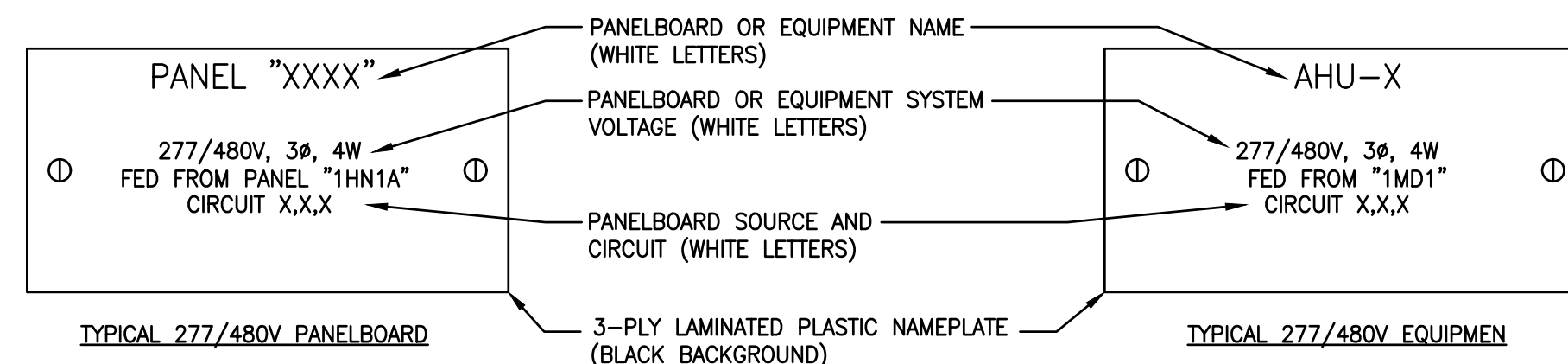


VERTICAL RECEPTACLES TO BE INSTALLED WITH GROUND PIN DOWN, UNLESS NOTED OTHERWISE. HORIZONTAL RECEPTACLES TO BE INSTALLED WITH NEUTRAL BLADE UP, UNLESS NOTED OTHERWISE.



TYPICAL 120/208V PANELBOARD

TYPICAL 120/208V EQUIPMENT



TYPICAL 277/480V PANELBOARD

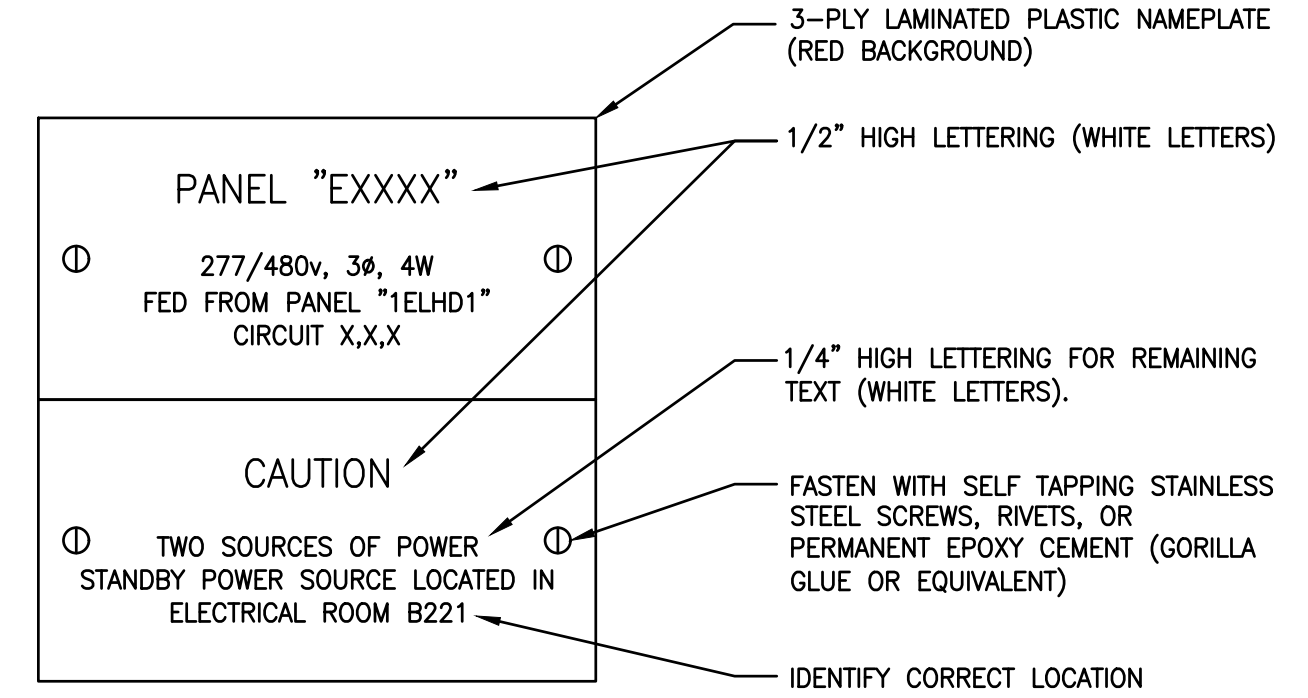
TYPICAL 277/480V EQUIPMEN

#### 5 PANELBOARD NAMEPLATES

NOT TO SCALE -- BLACK BACKGROUND, WHITE LETTERS

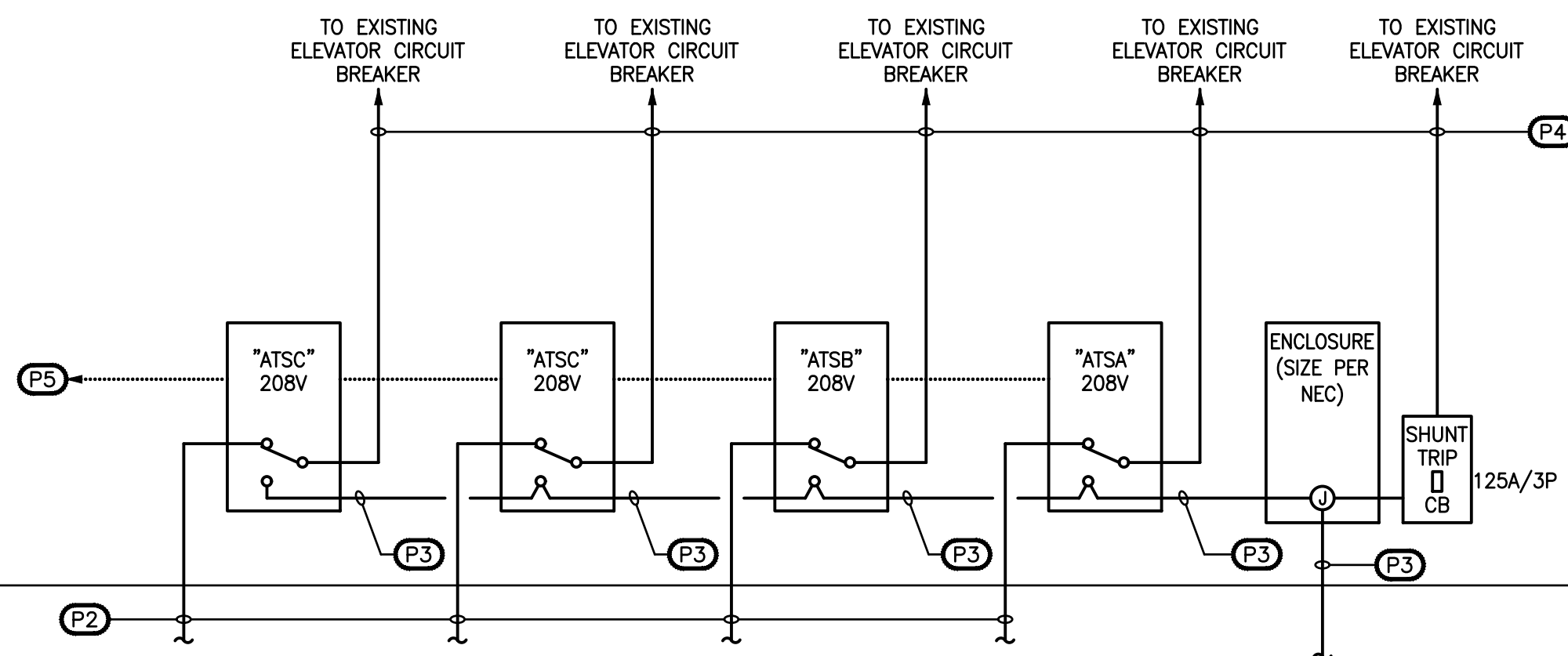
#### 6 EQUIPMENT NAMEPLATES

NOT TO SCALE -- BLACK BACKGROUND, WHITE LETTERS



#### 7 EMERGENCY POWER NAMEPLATE

NOT TO SCALE -- RED BACKGROUND, WHITE LETTERS



#### 2 PARTIAL POWER RISER DIAGRAM

NOT TO SCALE

#### PARTIAL POWER RISER DIAGRAM KEY NOTES:

- (P1) NOT USED.
- (P2) EXISTING ELEVATOR DISCONNECT FEEDERS: RECONNECT TO NEW TRANSFER SWITCHES.
- (P3) EXISTING EMERGENCY STANDBY ELEVATOR FEEDER: SPLICE/EXTEND/REROUTE TO TRANSFER SWITCHES AS NOTED.
- (P4) EXISTING ELEVATOR CIRCUIT BREAKER FEEDERS: RECONNECT TO NEW TRANSFER SWITCHES.
- (P5) CONTROL CIRCUIT TO ELEVATOR SELECTOR PANEL LOCATED ON FIRST FLOOR, 3/4" WITH WIRING PER MFR'S INSTRUCTIONS.

#### POWER RISER DIAGRAM / PANEL SCHEDULE NOTES:

- PROVIDE ENGRAVED NAMEPLATES FOR EACH PANELBOARD, SAFETY SWITCH, ENCLOSED CIRCUIT BREAKER, TRANSFORMER, CONTACTOR, AND LIGHTING CONTROL PANEL AS INDICATED IN THE SPECIFICATIONS. ATTACH TO EQUIPMENT COVER USING METAL SCREWS, RIVETS, OR INDUSTRIAL EPOXY CEMENT. THE MANUFACTURER'S STICKY-BACK ADHESIVE IS NOT ACCEPTABLE. USE WHITE LETTERS ON BLACK FIELD FOR NORMAL POWER ITEMS, USE WHITE LETTERS ON RED FIELD FOR EMERGENCY POWER ITEMS.
- ALL CIRCUIT BREAKERS SHALL BE FULLY RATED; SERIES RATINGS PROHIBITED. PROVIDE HACR-RATED CIRCUIT BREAKERS FOR ALL HVAC & REFRIGERATION EQUIPMENT.
- BRANCH MOUNTED MAIN CIRCUIT BREAKERS ARE PROHIBITED.
- EQUIPMENT CIRCUITS: VERIFY WIRE SIZE AND C/B RATING WITH EQUIPMENT NAMEPLATE DATA. NOTIFY ENGINEER OF ANY DISCREPANCY.
- BOND TRANSFORMER SECONDARY TO BUILDING STEEL WITH FULL SIZED EQUIPMENT GROUNDING CONDUCTOR PER NEC TABLE 250.66 (TYPICAL). MOUNT TRANSFORMERS 6" OFF OF WALL PER UL AND MFR REQ'Ts. SEE SPECS FOR TRANSFORMER DESCRIPTION.
- PANEL NUMBERING AND CIRCUIT BREAKER LAYOUT MUST MATCH SCHEDULES ON DESIGN DOCUMENTS. SUBMITTALS WHERE NUMBERING AND/OR BREAKER LAYOUT IS DIFFERENT WILL BE REJECTED. WHERE CIRCUIT NUMBERING IS NOT PERMANENTLY ENGRAVED, THE MANUFACTURER'S PLASTIC NUMBERING STRIPS SHALL BE USED. PAPER NUMBERS ARE NOT ACCEPTABLE AND MAY NOT BE USED.
- NEW PANELBOARDS TO INCLUDE HINGED TRIM (DOOR-IN-DOOR).
- SHOP DRAWING SUBMITTALS: SUBMIT AN ELECTRICAL ROOM LAYOUT DRAWING FOR EACH ELECTRICAL ROOM REFLECTING DIMENSIONS OF ACTUAL EQUIPMENT PROVIDED. PROVIDE CLEARANCES PER TABLE 110.26(A)(1) OF THE NEC.
- ARC-FLASH HAZARD WARNING LABELS: PROVIDE WARNING LABELS FOR ALL PANELS, SWITCHBOARDS, SWITCHGEAR, AND INDUSTRIAL CONTROL PANELS PER THE REQUIREMENTS OF NEC 110.16. LABELS TO READ, "DANGER ARC FLASH & SHOCK HAZARD - APPROPRIATE PERSONAL PROTECTION EQUIPMENT REQUIRED."

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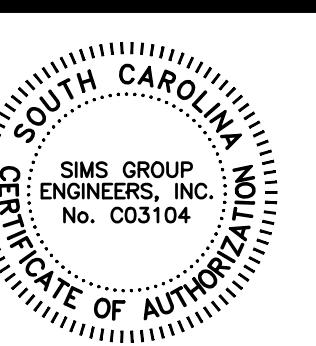
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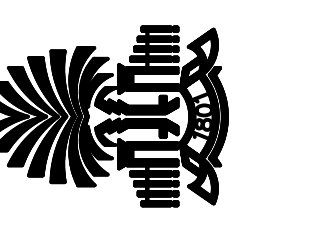
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E601